



**AGENDA**  
CHARTER TOWNSHIP OF MERIDIAN  
PLANNING COMMISSION – REGULAR MEETING  
February 27, 2023 6:30 PM

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1. CALL MEETING TO ORDER
2. ROLL CALL
3. PUBLIC REMARKS
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES
  - A. February 13, 2023
6. COMMUNICATIONS
  - A. None
7. PUBLIC HEARINGS
  - A. SUP #23004 – Schultz Veterinary Clinic Expansion
  - B. SUP #23005 – Tidal Wave Auto Spa
8. UNFINISHED BUSINESS
  - A. None
9. OTHER BUSINESS
  - A. None
10. MASTER PLAN UPDATE
  - A. None
11. REPORTS AND ANNOUNCEMENTS
  - A. Township Board update.
  - B. Liaison reports.
12. PROJECT UPDATES
  - A. Project Report
13. PUBLIC REMARKS
14. ADJOURNMENT

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Individuals with disabilities requiring auxiliary aids or services should contact: Director of Community Planning and Development  
Timothy R. Schmitt, 5151 Marsh Road, Okemos, MI 48864 or 517.853.4506 - Ten Day Notice is Required.  
Meeting Location: 5151 Marsh Road, Okemos, MI 48864



**TENTATIVE PLANNING COMMISSION AGENDA**  
**March 13, 2023**

1. PUBLIC HEARINGS
  - A. REZ #23006 – Worful Rezoning
  
2. UNFINISHED BUSINESS
  - A. SUP #23004 – Schultz Veterinary Clinic Expansion
  - B. SUP #23005 – Tidal Wave Auto Spa
  
3. OTHER BUSINESS
  - A. None

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Individuals with disabilities requiring auxiliary aids or services should contact: Director of Community Planning and Development  
Timothy R. Schmitt, 5151 Marsh Road, Okemos, MI 48864 or 517.853.4506 - Ten Day Notice is Required.  
Meeting Location: 5151 Marsh Road, Okemos, MI 48864

Providing a safe and welcoming, sustainable, prime community.



**CHARTER TOWNSHIP OF MERIDIAN  
PLANNING COMMISSION  
REGULAR MEETING MINUTES**

**DRAFT**

**February 13, 2023**

**5151 Marsh Road, Okemos, MI 48864-1198**

**517.853.4000, Town Hall Room, 6:30 P.M.**

**PRESENT: Chair Blumer, Vice-Chair Trezise, Commissioners Shrewsbury, McConnell, McCurtis, Scales, Brooks, Snyder, Richards**

**ABSENT: None.**

**STAFF: Senior Planner Brian Shorkey, Communications Specialist Danneisha McCole**

**1. CALL MEETING TO ORDER**

Chair Blumer called the regular meeting to order at 6:31 pm.

**2. ROLL CALL**

Chair Blumer called the roll of the Planning Commission. All present.

**3. PUBLIC REMARKS**

Chair Blumer opened public remarks at 6:33 pm.

Greg Fedewa, 7030 Clement Rd., requested a change in zoning of vacant lots at 5921 and 5929 Okemos Rd. from RX to Multi-Family.

Chair Blumer closed public remarks at 6:35 pm.

**4. APPROVAL OF AGENDA**

**Vice-Chair Trezise moved to approve the agenda. Seconded by Commissioner Snyder.**

VOICE VOTE: Motion approved unanimously.

**5. APPROVAL OF MINUTES**

A. January 23, 2023 Regular Meeting

**Commissioner McConnell moved to approve the Minutes of the January 23, 2023 Planning Commission Regular Meeting as submitted. Seconded by Vice-Chair Trezise.**

VOICE VOTE: Motion approved unanimously.

**6. COMMUNICATIONS**

A. Letter from Country Side Estates re: Urban Service Boundary

Commissioner Snyder asked where Country Side Estates is located.

Commissioner Richards stated it's between Van Atta Rd, and Meridian Rd. north of Newman Rd.

Chair Blumer noted this letter is worth further discussion during the Master Plan Discussion.

B. Letter of Introduction from Michael A. Eschelbach

Vice-Chair Trezise noted this letter is a request for a zoning change on properties located on Dobie Rd. near faith Lutheran church.

**7. PUBLIC HEARINGS-NONE**

**8. UNFINISHED BUSINESS - NONE**

**9. OTHER BUSINESS**

A. Email from Jessica Worful re: Potential Rezoning at 5677 Cade St.

Senior Planner Shorkey noted this property is currently zoned Professional Office while everything to the south is zoned RB-Residential. The property is currently used residentially. The owner cannot make improvements she would like to unless the property is rezoned as residential. He explained if the Planning Commission agrees with the request they may initiate an administrative rezoning.

Jessica Worful, 5677 Cade St., Haslett, MI, explained her neighbor is a chiropractor and a block away is a dentist office. She believes she may have been grouped in the professional office zoning on accident as all of her other neighbors are zoned residential.

Chair Blumer asked Ms. Worful what improvements she would like to make to the property.

Ms. Worful replied she would like to build an addition to the home to accommodate her family.

Chair Blumer asked if the size of the property would support the additions.

Ms. Worful replied she believes it would.

Senior Planner Shorkey noted the property appears to be large enough, but cannot speak to the setbacks at this time.

Chair Blumer asked what staff's perspective is on this issue.

Senior Planner Shorkey replied if the Planning Commission is amenable to her request to initiate an administrative rezoning they could do so through a motion.

Commissioner McConnell asked what the difference is between an administrative rezoning and another kind of rezoning and how this fits in the Master Plan.



Senior Planner Shorkey replied from a master plan perspective this rezoning should be ok. From a zoning perspective Ms. Worful cannot build an addition on her property as she is zoned professional office.

**Commissioner McCurtis moved that the Planning Commission initiates the rezoning of 5677 Cade St. from PO to RB. Seconded by Commissioner Snyder.**

VOICE VOTE: Motion approved unanimously.

## **10. MASTER PLAN UPDATE**

### **A. Public Comment Themes**

Senior Planner Shorkey reported he is looking for feedback on public comment themes and Master Plan goals and objectives. He asked the Planning Commission what themes they are interested in acquiring further information on.

Commissioner Shrewsbury stated it may be helpful to give a one paragraph description of the Master Plan purpose to give context to residents.

Commissioner Richards noted it could be helpful to residents if there was a way to alert them when a parcel they are close to may be rezoned. He also noted there is a lot of unused commercial parking that should be addressed in the Master Plan, specifically at the Meridian Mall. He noted there should be community input on moving the Urban Service Boundary.

Chair Blumer noted it would be helpful to have a terms and abbreviations definition section included with the Master Plan for residents.

Commissioner McConnell concurred with Commissioner Richards on his points about mall parking lots and the Urban Service Boundary.

Commissioner McCurtis brought up concerns about the communication received from Country Side Estates concerning moving the Urban Service Boundary and its effects on the township's aesthetics.

Chair Blumer noted number eight on the memo "increasing mixed-uses" should be expanded to "preservation of existing mixed-uses" as well.

Vice-chair Trezise suggested looking into incentives to encourage infill development. He noted not moving the Urban Service boundary can also have negative effects on the township.

Commissioner Scales asked what outreach developed the current list on the memo, as there is not a lot of comments on Saginaw Highway Corridor.

Senior Planner Shorkey replied the Community Planning and Development department met with the Communications department to create a feedback form that was published on the township website. He explained the list on the memo came from comments submitted through that form.

Commissioner Shrewsbury asked if time could be set aside at a meeting to seek community input.

Commissioner Snyder asked how frequently the Master Plan is revised.

Senior Planner Shorkey replied every five years.

Vice-chair Trezise stated it may be helpful to communicate a general understanding of the differences between a Master Plan and the Zoning Code.

Senior Planner Shorkey replied the Master Plan recommended consolidating residential districts. As a result, last year two ordinance amendments were brought to the table, one that rezoned seven parcels, and the other eliminated two residential districts.

Commissioner McCurtis noted some neighborhoods in the township are dark and lacking sidewalks making them unsafe at night.

Senior Planner Shorkey replied that is a good point to be looked at.

Commissioner Scales suggested it would be helpful if Planning Commission members used the books, *'The Township Guide to Planning and Zoning'* published by Michigan Township Association, and *'Planning and Zoning Essentials'* published by the Michigan Association of Planning.

Commissioner Brooks suggested making goals such as "creating better engagement in our community" or "cross collaboration between communities" as meeting those goals may lead to the input staff is seeking.

Commissioner Snyder asked if there is a place in the Master Plan to include Diversity, Equity, and Inclusion. She noted Master Plan topics brought up by residents may be a result of limited means of community input.

Commissioner McConnell noted there is a discussion planed for March 7<sup>th</sup> on one of the Okemos PICA's and would be a good opportunity to gather community input on the Master Plan.

Commissioner Shrewsbury suggested using a flyer at events, such as the farmers market, that contains a QR code that would allow residents to easily give community input from a mobile device.

Commissioner Brooks suggested corridor studies be conducted on Marsh Rd. and Okemos Rd.

Commissioner McConnell suggested the Planning Commission stay informed on which corridors are being looked at by the township so as to develop a master plan that is supportive to the Corridor Improvement Authority's goals.

Commissioner Brooks asked about the recent increase in the amount of people working from home and how that could be incorporated into the Master Plan.

Commissioner Snyder noted that with so many people working from home now, they no longer need to move somewhere purely because it's close to their place of work. As a result the township needs to remain an attractive place to live regardless of your employment.

Commissioner Brooks brought up the communication earlier in the meeting from Jessica Worful and how flexible zoning may be appealing to people who want to start a business in their home.

Vice-Chair Trezise replied that a good approach may be to create a streamlined process that will allow residents to make and receive such a request.

- B. Goals and Objectives  
NONE

## **11. REPORTS AND ANNOUNCEMENTS**

- A. Township Board Update

- Senior Planner Shorkey reported the Township Board will be holding a board meeting on March 7<sup>th</sup> where they will meet with the developers of the Village of Okemos and Residents.

Commissioner McConnell

- Attended February 7<sup>th</sup> Township Board Meeting where the board discussed the issue of recreational marijuana, including discussion on curbside service of recreational marijuana

- B. Liaison Reports

Vice-Chair Trezise

- Attended February 2<sup>nd</sup> Economic Development Corporation meeting where there was discussion on the Corridor Improvement Authority receiving a tax increment finance district, as well as discussion on how to renew Meridian Township's status as a "Redevelopment Ready Community"

Chair Blumer

- Attended February 6<sup>th</sup> Downtown Development Authority where a quorum was not present

## **12. PROJECT UPDATES**

- A. Project Report  
NONE

## **13. PUBLIC REMARKS**

Chair Blumer opened public remarks at 8:07 pm.

Cecelia Kramer, 4560 Oakwood Rd., Okemos, MI spoke about the letter from Mike Eschelbach as well as an accompanying document addressing the requested rezoning of property at Faith Lutheran Church, 4515 Dobie Rd.

Chair Blumer closed public remarks at 8:07 pm.

#### **14. ADJOURNMENT**

**Commissioner Scales moved to Adjourn. Seconded by Commissioner McCurtis.**

VOICE VOTE: Motion approved unanimously.

Chair Blumer adjourned the regular meeting at 8:15 pm.



**To: Planning Commission**

**From: Brian Shorkey, Senior Planner**

**Date: February 23, 2023**

**Re: Special Use Permit #23004 (Schultz Veterinary Clinic), to construct a 650 square foot addition to an existing business.**

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Mayberry Homes (Applicant) has submitted a Special Use Permit (SUP) application for the construction of an addition of an existing business, Schultz Veterinary Clinic, at 2770 Bennett Road (Subject Property). The approximate 2.8-acre subject property is zoned RR (Rural Residential). The Clinic was originally approved in 1989 (SPR #89-10) and was last added on to in 2006 (SPR #06-02). As a veterinary clinic is a special land use in the RR district, it was determined that further expansion of the building requires an amendment to the previously approved SUP (#06-89071).

While researching the application, Staff has discovered that a previous condition of approval for SUP #06-89071 was the installation of the segment of the Township Pathway along Bennett Road. The Pathway was never installed, meaning that installation of the Pathway segment is still required for approval. Staff is recommending not moving forward with this application until it is determined how the Pathway will be installed.

Given that public hearing notice was already published by the time this issue was raised, Staff is recommending holding the public hearing as noticed. Once the issue is resolved with respect to the pathway, we will issue another public notice and hold a new public hearing on the matter.

**Attachments**

1. SUP permit application and attached material, dated January 30, 2023.
2. Building Drawings and Site plan prepared by Farhat Design, dated September 6, 2022 and received by the Township on January 30, 2023.

**CHARTER TOWNSHIP OF MERIDIAN  
DEPARTMENT OF COMMUNITY PLANNING AND DEVELOPMENT  
5151 MARSH ROAD, OKEMOS, MI 48864  
PLANNING DIVISION PHONE: (517) 853-4560, FAX: (517) 853-4095**

**SPECIAL USE PERMIT APPLICATION**

Before submitting this application for review, an applicant may meet with the Director of Community Planning and Development to discuss the requirements for a special use permit and/or submit a conceptual plan for review to have preliminary technical deficiencies addressed prior to submittal of the application. If the property or land use is located in the following zoning districts RD, RC, RCC, RN then the applicant must meet with the Planning Director to discuss technical difficulties before filing a formal application.

**Part I**

A. Applicant Mayberry Homes  
 Address of Applicant 1650 Kendale Blvd #200, East Lansing MI 48823  
 Telephone - Work 517-999-0164 Home \_\_\_\_\_ Fax \_\_\_\_\_ Email Kristie@mayberryhomes.com  
 Interest in property (circle one): Owner \_\_\_\_\_ Tenant \_\_\_\_\_ Option \_\_\_\_\_ Other  
 (Please attach a list of all persons with an ownership interest in the property.)

B. Site address / location / parcel number 2270 Bennett Road, Okemos MI 48864  
 Legal description (please attach if necessary) Attached  
 Current zoning RR  
 Use for which permit is requested / project name Building Permit / Schultz Veterinary Clinic Addition  
 Corresponding ordinance number \_\_\_\_\_

C. Developer (if different than applicant) \_\_\_\_\_  
 Address \_\_\_\_\_  
 Telephone - Work \_\_\_\_\_ Home \_\_\_\_\_ Fax \_\_\_\_\_

D. Architect, Engineer Planner or Surveyor responsible for design of project if different from applicant:  
 Name Farhat Design  
 Address 10173 N. Royston Road, Grand Ledge MI 48837  
 Telephone - Work 517-694-7620 Home \_\_\_\_\_ Fax \_\_\_\_\_

E. Acreage of all parcels in the project: Gross 2.73 Net \_\_\_\_\_

F. Explain the project and development phases: Addition (rear) to existing Bldg 650 sq ft to include hall, exam room, conf/Breakroom, Testing & Storage Area, And remodel of 3 hall ways existing and 1 exam room existing (150 sq ft)

G. Total number of:  
 Existing: structures 1 bedrooms \_\_\_\_\_ offices \_\_\_\_\_ parking spaces \_\_\_\_\_ carports \_\_\_\_\_ garages \_\_\_\_\_  
 Proposed: structures \_\_\_\_\_ bedrooms \_\_\_\_\_ offices \_\_\_\_\_ parking spaces \_\_\_\_\_ carports \_\_\_\_\_ garages \_\_\_\_\_

H. Square footage: existing buildings 4,298 proposed buildings 800 Addition/Remodel Area = 5,098 Total  
 Usable Floor area: existing buildings \_\_\_\_\_ proposed buildings \_\_\_\_\_

I. If employees will work on the site, state the number of full time and part time employees working per shift and hours of operation: M-F 8AM-NOON and 1:30PM-5:30PM 3 Drs Listed & 11 other Staff Listed

J. Existing Recreation: Type \_\_\_\_\_ Acreage \_\_\_\_\_  
 Proposed Recreation: Type \_\_\_\_\_ Acreage \_\_\_\_\_  
 Existing Open Space: Type \_\_\_\_\_ Acreage \_\_\_\_\_  
 Proposed Open Space: Type \_\_\_\_\_ Acreage \_\_\_\_\_

33-02-02-29-300-014  
mayberryhomes.com  
Addition Okemos

- K. If Multiple Housing:
- Total acres of property \_\_\_\_\_
- Acres in floodplain \_\_\_\_\_ Percent of total \_\_\_\_\_
- Acres in wetland (not in floodplain) \_\_\_\_\_ Percent of total \_\_\_\_\_
- Total dwelling units \_\_\_\_\_
- Dwelling unit mix:
- |                                    |                |             |
|------------------------------------|----------------|-------------|
| Number of single family detached:  | for Rent _____ | Condo _____ |
| Number of duplexes:                | for Rent _____ | Condo _____ |
| Number of townhouses:              | for Rent _____ | Condo _____ |
| Number of garden style apartments: | for Rent _____ | Condo _____ |
| Number of other dwellings:         | for Rent _____ | Condo _____ |

L. The following support materials must be submitted with the application:

1. Nonrefundable Fee.
2. Legal Description of the property.
3. Evidence of fee or other ownership of the property.
4. Site Plan containing the information listed in the attachment to this application.
5. Architectural sketches showing all sides and elevations of the proposed buildings or structures, including the project entrance, as they will appear upon completion. The sketches should be accompanied by material samples or a display board of the proposed exterior materials and colors.
6. A Traffic Study, prepared by a qualified traffic engineer, based on the most current edition of *Evaluating Traffic Impact Studies: A Recommended Practice for Michigan Communities*, published by the State Department of Transportation.
  - a. A traffic assessment will be required for the following:
    - 1) New special uses which could, or expansion or change of an existing special use where increase in intensity would, generate between 50 to 99 directional trips during a peak hour of traffic.
    - 2) All other special uses requiring a traffic assessment as specified in the Township Code of Ordinances, Chapter 86, Article IV, Division 2.
  - b. A traffic impact study will be required for the following:
    - 1) New special uses which would, or expansion or change of an existing special use where increase in intensity would, generate over 100 directional trips or more during a peak hour of traffic, or over 750 trips on an average day.
    - 2) All other special uses requiring a traffic assessment as specified in the Township Code of Ordinances, Chapter 86, Article IV, Division 2.
7. Natural features assessment which includes a written description of the anticipated impacts on the natural features at each phase and at project completion that contains the following:
  - a. An inventory of natural features proposed to be retained, removed, or modified. Natural features shall include, but are not limited to, wetlands, significant stands of trees or individual trees greater than 12 inches dbh, floodways, floodplains, waterbodies, identified groundwater vulnerable areas, slopes greater than 20 percent, ravines, and vegetative cover types with potential to sustain significant or endangered wildlife.
  - b. Description of the impacts on natural features.
  - c. Description of any proposed efforts to mitigate any negative impacts.

The natural features assessment may be waived by the Director of Community Planning and Development in certain circumstances.

- M. Any other information specified by the Director of Community Planning and Development which is deemed necessary to evaluate the application.
- N. In addition to the above requirements, for zoning districts, **RD, RC, RCC, RN, and CV** and **Group Housing Residential Developments** the following is required:
1. Existing and proposed contours of the property at two foot intervals based on United States Geological Survey (USGS) data.
  2. Preliminary engineering reports in accordance with the adopted Township water and sewer standards, together with a letter of review from the Township Engineer.
  3. Ten copies of a report on the intent and scope of the project including, but not limited to: Number, size, volume, and dimensions of buildings; number and size of living units; basis of calculations of floor area and density and required parking; number, size, and type of parking spaces; architectural sketches of proposed buildings.
  4. Seven copies of the project plans which the Township shall submit to local agencies for review and comments.
- O. In addition to the above requirements, a special use application in zoning district **RP** requires the following material as part of the site plan:
1. A description of the operations proposed in sufficient detail to indicate the effects of those operations in producing traffic congestion, noise, glare, air pollution, water pollution, fire hazards or safety hazards or the emission of any potentially harmful or obnoxious matter or radiation.
  2. Engineering and architectural plans for the treatment and disposal of sewerage and industrial waste tailings, or unusable by-products.
  3. Engineering and architectural plans for the handling of any excessive traffic congestion, noise, glare, air pollution, or the emission of any potentially harmful or obnoxious matter or radiation.
- P. In addition to the above requirements, a special use application for a use in the Floodway Fringe of zoning district **CV** requires the following:
1. A letter of approval from the State Department of Environmental Quality.
  2. A location map including existing topographic data at two-foot interval contours at a scale of one inch representing 100 feet.
  3. A map showing proposed grading and drainage plans including the location of all public drainage easements, the limits, extent, and elevations of the proposed fill, excavation, and occupation.
  4. A statement from the County Drain Commissioner, County Health Department, and Director of Public Works and Engineering indicating that they have reviewed and approved the proposal.
- Q. In addition to the above requirements, a special use application for a use in the Groundwater Recharge area or zoning district **CV** requires the following:
1. A location map including existing topographic data at two-foot interval contours.
  2. A map showing proposed grading and drainage plans including the location of all public drainage easements, the limits and extent of the proposed fill, excavation, and occupation.
  3. A statement from the County Drain Commissioner, County Health Department, and Director of Public Works and Engineering indicating that they have reviewed and approved the proposal.
- R. In addition to the above requirements, the Township Code of Ordinances, Article VI, should be reviewed for the following special uses: group housing residential developments, mobile home parks, nonresidential structures and uses in residential districts, planned community and regional shopping center developments, sand or gravel pits and quarries, sod farms, junk yards, sewage treatment and disposal installations, camps and clubs for outdoor sports and buildings greater than 25,000 square feet in gross floor area.



Part II

SUP REQUEST STANDARDS
Township Code of Ordinances, Section 86-126

Applications for Special Land Uses will be reviewed with the standards stated below. An application that complies with the standards stated in the Township Ordinance, conditions imposed pursuant to the Ordinance, other applicable Ordinances, and State and Federal statutes will be approved. Your responses to the questions below will assist the Planning Commission in its review of your application.

- (1) The project is consistent with the intent and purposes of this chapter.
(2) The project is consistent with applicable land use policies contained in the Township's Master Plan of current adoption.
(3) The project is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the same area.
(4) The project will not adversely affect or be hazardous to existing neighboring uses.
(5) The project will not be detrimental to the economic welfare of surrounding properties or the community.
(6) The project is adequately served by public facilities, such as existing roads, schools, stormwater drainage, public safety, public transportation, and public recreation, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide any such service.
(7) The project is adequately served by public sanitation facilities if so designed. If on-site sanitation facilities for sewage disposal, potable water supply, and storm water are proposed, they shall be properly designed and capable of handling the longterm needs of the proposed project.
(8) The project will not involve uses, activities, processes, materials, and equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.
(9) The project will not directly or indirectly have a substantial adverse impact on the natural resources of the Township, including, but not limited to, prime agricultural soils, water recharge areas, lakes, rivers, streams, major forests, wetlands, and wildlife areas.

Part III

I (we) hereby grant permission for members of the Charter Township of Meridian's Boards and/or Commissions, Township staff member(s) and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purpose of gathering information including but not limited to the taking and the use of photographs.

[X] Yes [ ] No (Please check one)

By the signature(s) attached hereto, I (we) certify that the information provided within this application and accompanying documentation is, to the best of my (our) knowledge, true and accurate

Kristi Smariege for Mayberry Homes
Signature of Applicant

1/30/23
Date

Kristi Smariege for Mayberry Homes
Type/Print Name

Fee: \$250.00

Received by/Date: 1/31/2023

**Special Use Permit Application Attachment**  
**Site Plan Requirements Per Section 86-124(c)(4)**

A site plan, drawn to a legible scale, containing the following information where applicable:

- a. Boundaries of the subject property.
- b. Total area of the subject property.
- c. Location of all existing and proposed structures.
- d. Approximate location and distance of all structures within 100 feet of the subject property.
- e. Uses of existing and proposed buildings, on the subject site.
- f. Proposed means of vehicular and pedestrian ingress and egress to the subject property.
- g. Public and private roads and streets, rights-of-way, and easements, indicating names and widths, which abut or cross the site.
- h. Existing and proposed parking spaces, and vehicular and pedestrian circulation patterns.
- i. The buildable area of the subject property indicating all required setbacks, yards and open space.
- j. Zoning classification of the subject and adjacent properties.
- k. Existing and proposed fencing, screening, landscaping, and buffers.
- l. Location and sizes of existing utilities including power lines and towers, both above and below the ground.
- m. Amount and location of all impervious surfaces.
- n. The verified boundaries of all natural water features and required setback lines.

Legal Description

M 29-15-3- BEG AT S 1/4 COR SD SEC 29 -W ON S SEC LN 200 FT -N 0 DEG 18'55"W, 60.77 FT -ON CURVE LEFT 174.36 FT HAVING A 333 FT RAD & A CHD OF 172.37 FT .BRG N 15 DEG 18'55"W, -N 30 DEG 18'55"W, 175.77 FT -N 49 DEG 08'47" E, 114 FT -N 79 DEG 14'28"E, 250 FT TO NS 1/4 LN -S 0 DEG 18'55"E, 500 FT ON 1/4 LINE TO POB. SEC 29 T4NR1W 2.73 AC M/L

**2770 BENNETT RD OKEMOS, MI 48864** (Property Address)

Parcel Number: 33-02-02-29-300-014



Item 1 of 3 1 Image / 2 Sketches

**Property Owner: WI PROPERTIES LLC**

**Summary Information**

- > Commercial/Industrial Building Summary
  - Yr Built: 1989
  - # of Buildings: 1
  - Total Sq.Ft.: 4,298
- > 1 Special Assessment found
- > 3 Building Department records found
- > Assessed Value: \$307,100 | Taxable Value: \$286,681
- > Property Tax information found

**Owner and Taxpayer Information**

<b>Owner</b>	WI PROPERTIES LLC 2770 BENNETT RD OKEMOS, MI 48864	<b>Taxpayer</b>	SEE OWNER INFORMATION
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**General Information for Tax Year 2022**

<b>Property Class</b>	201 COMMERCIAL-IMPROVED	<b>Unit</b>	02 MERIDIAN TOWNSHIP
<b>School District</b>	OKEMOS PUBLIC SCHOOLS	<b>Assessed Value</b>	\$307,100
<b>MG</b>	No Data to Display	<b>Taxable Value</b>	\$286,681
<b>APPRAISAL</b>	Not Available	<b>State Equalized Value</b>	\$307,100
<b>C. AREA</b>	Not Available	<b>Date of Last Name Change</b>	05/04/2017
<b>INFLUENCE</b>	Not Available	<b>Notes</b>	Not Available
<b>Historical District</b>	Not Available	<b>Census Block Group</b>	No Data to Display
<b>PROBLEMS</b>	Not Available	<b>Exemption</b>	No Data to Display

**Principal Residence Exemption Information**

**Homestead Date** No Data to Display

Principal Residence Exemption	June 1st	Final
2022	0.0000 %	0.0000 %

**Previous Year Information**

Year	MBOR Assessed	Final SEV	Final Taxable
2021	\$289,700	\$289,700	\$277,523
2020	\$296,100	\$296,100	\$273,692
2019	\$282,300	\$282,300	\$268,589

**Land Information**

<b>Zoning Code</b>	RR	<b>Total Acres</b>	2.730
<b>Land Value</b>	\$235,800	<b>Land Improvements</b>	Not Available
<b>Renaissance Zone</b>	No	<b>Renaissance Zone Expiration Date</b>	No Data to Display
<b>ECF Neighborhood</b>	2035 OKEMOS DOWNTOWN/HAGADORN/OUT LYING OFFICE	<b>Mortgage Code</b>	017
<b>Lot Dimensions/Comments</b>	No Data to Display	<b>Neighborhood Enterprise Zone</b>	No

Lot(s)	Frontage	Depth
No lots found.		
<b>Total Frontage: 0.00 ft</b>		<b>Average Depth: 0.00 ft</b>

**Legal Description**

M 29-15-3- BEG AT S 1/4 COR SD SEC 29 -W ON S SEC LN 200 FT -N 0 DEG 18'55"W, 60.77 FT -ON CURVE LEFT 174.36 FT HAVING A 333 FT RAD & A CHD OF 172.37 FT. BRG N 15 DEG 18'55"W, -N 30 DEG 18'55"W, 175.77 FT -N 49 DEG 08'47" E, 114 FT -N 79 DEG 14'28"E, 250 FT TO NS 1/4 LN -S 0 DEG 18'55"E, 500 FT ON 1/4 LINE TO POB. SEC 29 T4NR1W 2.73 AC M/L

Sale History

Sale Date	Sale Price	Instrument	Grantor	Grantee	Terms of Sale	Liber/Page	Comments
08/30/2004	\$1.00	WD	SCHULTZ, WILLIAM E & INGRID	WI PROPERTIES LLC	21-NOT USED/OTHER	3130-0275	
08/01/1989	\$12,000.00	WD	STURK	HERON CREEK FARMS	03-ARM'S LENGTH		

Building Information - 4298 sq ft Hospitals - Veterinary (Commercial)

<b>Floor Area</b>	4,298 sq ft	<b>Estimated TCV</b>	<i>Not Available</i>
<b>Occupancy</b>	Hospitals - Veterinary	<b>Class</b>	D
<b>Stories Above Ground</b>	1	<b>Average Story Height</b>	9 ft
<b>Basement Wall Height</b>	12 ft	<b>Identical Units</b>	<i>Not Available</i>
<b>Year Built</b>	1989	<b>Year Remodeled</b>	2006
<b>Percent Complete</b>	100%	<b>Heat</b>	Package Heating & Cooling
<b>Physical Percent Good</b>	37%	<b>Functional Percent Good</b>	100%
<b>Economic Percent Good</b>	100%	<b>Effective Age</b>	33 yrs

**\*\*Disclaimer:** BS&A Software provides BS&A Online as a way for municipalities to display information online and is not responsible for the content or accuracy of the data herein. This data is provided for reference only and WITHOUT WARRANTY of any kind, expressed or inferred. Please contact your local municipality if you believe there are errors in the data.

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# Letter of Authorization

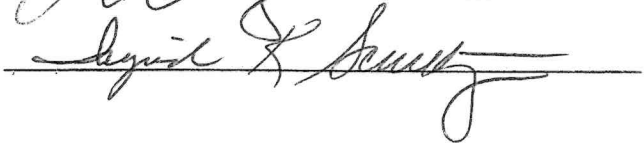
WI Properties LLC, the owner(s) of Schultz Veterinary Clinic, 2770 Bennett Road, Okemos MI 48864, Ingham County, PARCEL ID # 33-02-02-29-300-014, grant Kristi Smariege of Mayberry Homes access to arrange for staking of the property, and permission to secure special land use, building, zoning, water/sewer, soil erosion, sidewalk, and driveway permits on the property, as needed.

Landowner's Printed Name(s): WI Properties LLC  
Landowner's Current Address: 2770 Bennett Road  
Okemos, MI 48864  
(517) 337-4800  
joedrumr@aol.com

Landowner's Signature:



Landowner's Signature:



Authorized Agent's Name: Kristi Smariege  
Company Name: Mayberry Homes  
Address: 1650 Kendale Blvd. #200  
East Lansing, MI 48823  
(517) 999-0164  
kristi@mayberryhomes.com

Authorized Agent's Signature:





mayberryhomes

1650 Kendale Blvd.  
Suite 200  
East Lansing, MI 48823  
517-371-5000 Fax 517-371-5001

To Whom It May Concern:

Lindsey Coffelt, Nancy Droste, and Kristi Smariege are authorized to obtain building permits under my State of Michigan Builder's License #2102163113.

Robert K. Schroeder  
Mayberry Homes, LLC



Michigan Department of Licensing and Regulatory Affairs  
Bureau of Construction Codes  
Licensing & Compliance Division  
P.O. Box 30254  
Lansing, MI 48909

Michigan Department of Licensing and Regulatory Affairs  
Bureau of Construction Codes  
Company Builder License

MAYBERRY HOMES LLC  
1650 KENDALE BLVD SUITE 200  
EAST LANSING, MI 48823

License No:  
2102163113

Expiration Date:  
05/31/2023

MAYBERRY HOMES LLC  
1650 KENDALE BLVD SUITE 200  
EAST LANSING, MI 48823

GRETCHEN WHITMER  
Governor

**Michigan Department of Licensing and Regulatory Affairs  
Bureau of Construction Codes  
Company Builder License**

MAYBERRY HOMES LLC  
1650 KENDALE BLVD SUITE 200  
EAST LANSING, MI 48823

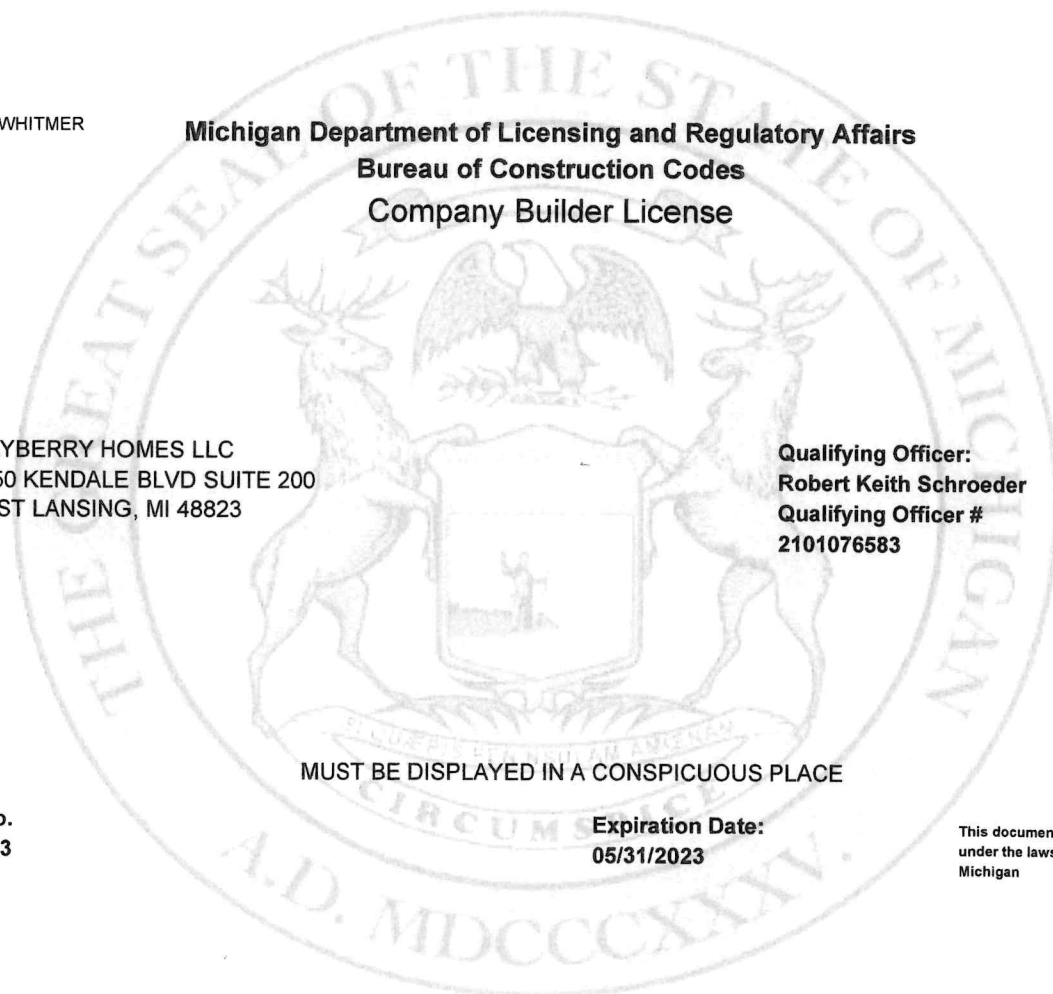
**Qualifying Officer:  
Robert Keith Schroeder  
Qualifying Officer #  
2101076583**

MUST BE DISPLAYED IN A CONSPICUOUS PLACE

**License No.  
2102163113**

**Expiration Date:  
05/31/2023**

This document is duly issued  
under the laws of the State of  
Michigan







Farhat Design  
 187 Oakwood  
 1075 N. Kroyton Rd.  
 Grand Lodge, MI 48037

revision date	
4-4-22	
4-26-22	
4-27-22	
10-11-22	

SCHULTZ VETERINARY CLINIC  
 OKEMOS, MICHIGAN



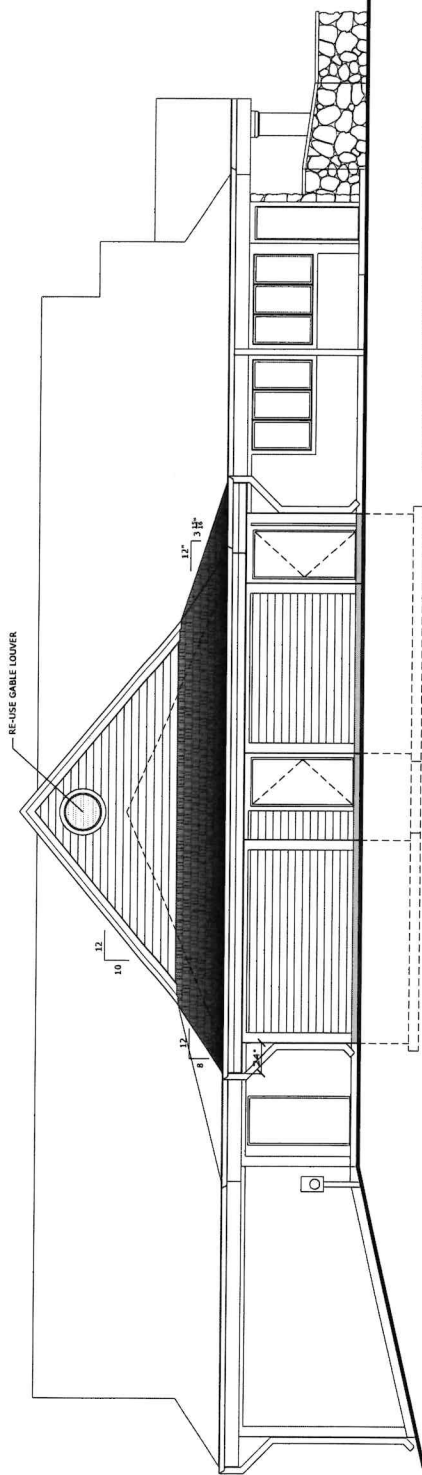
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 job #: 21022

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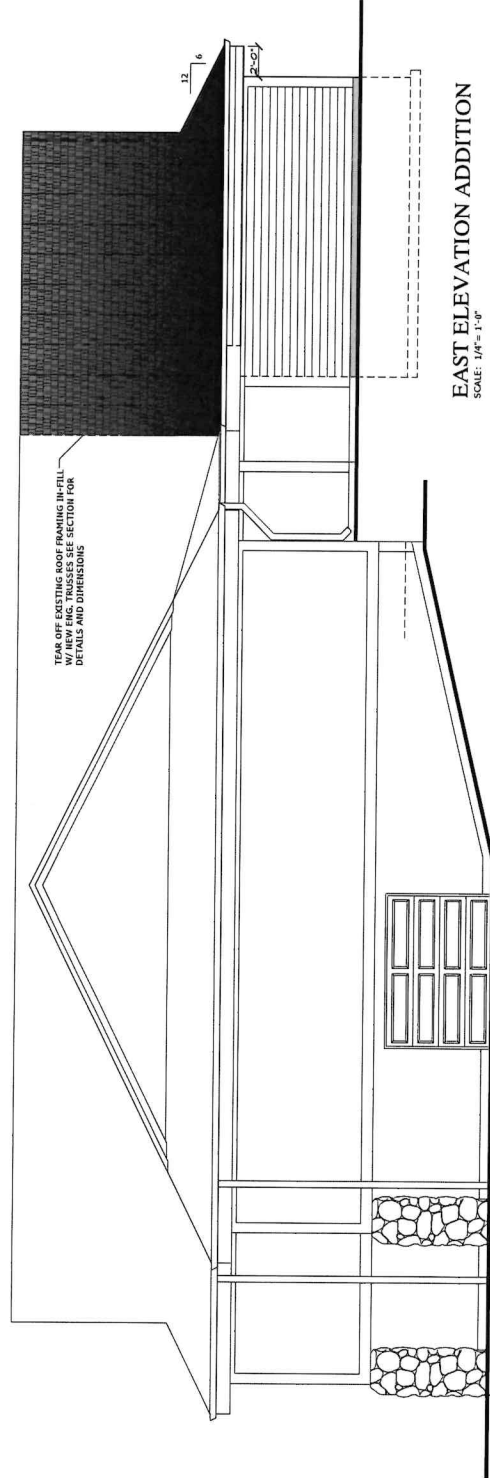
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A1.1

OF 13 SHEETS



NORTH ELEVATION ADDITION  
 SCALE: 1/8" = 1'-0"



EAST ELEVATION ADDITION  
 SCALE: 1/8" = 1'-0"



Fartlar Design  
 507-684-7600  
 12072 N. Koyonem Rd.  
 Grand Lodge, MI 49637

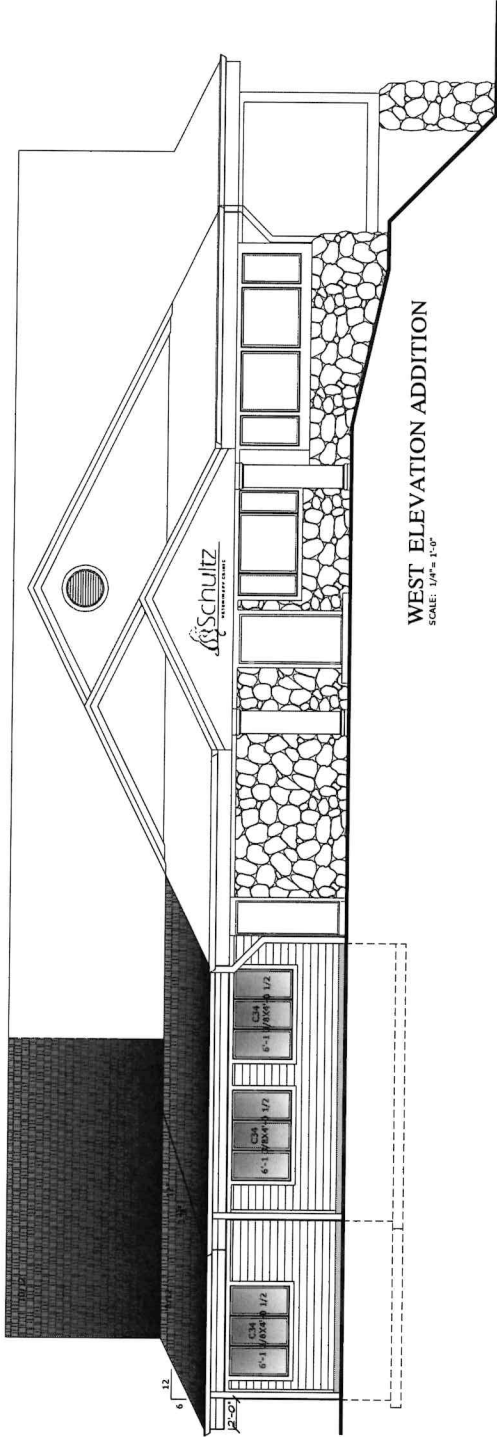
revision date
9-4-22
9-26-22
9-27-22
10-11-22

  
 SCHULTZ VETERINARY CLINIC  
 OKEMOS, MICHIGAN  


drawn by : PAUL J. FARHAT  
 date : 9-6-22  
 scale : 1/8" = 1'-0"  
 plot # : 21022

sheet contents :  
**ELEVATIONS**

sheet # :  
**A1.2**  
 of 13 SHEETS



**WEST ELEVATION ADDITION**  
 SCALE: 1/8" = 1'-0"



Farhat Design  
 517-684-7100  
 10723 N. Koynton Rd.  
 Grand Ledge, MI 48837

revision date
4-4-22
4-26-22
4-27-22
10-11-22

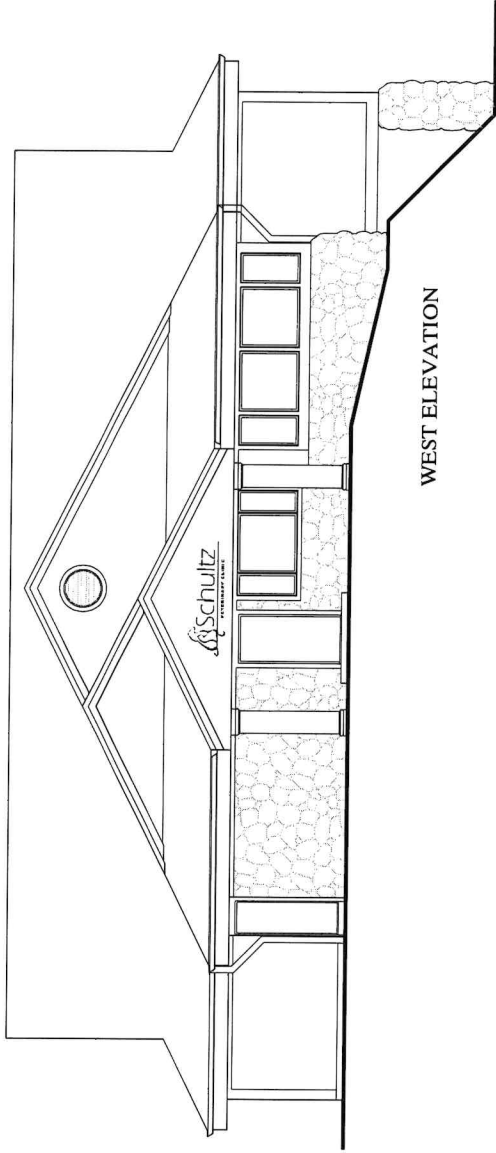
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 OKEMOS, MICHIGAN



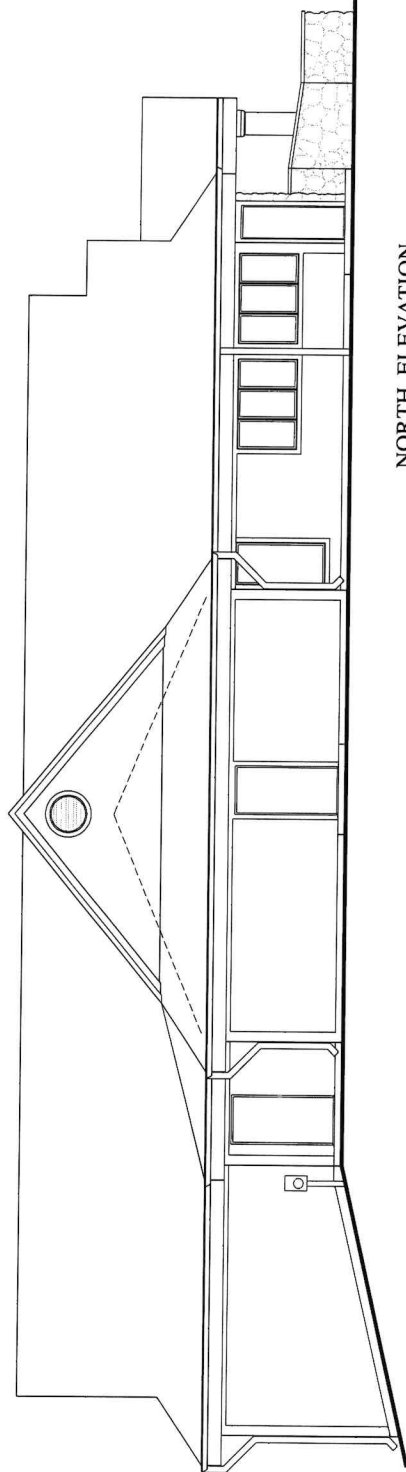
drawn by : PAUL J. FARHAT  
 date : 4-6-22  
 scale : 1/8" = 1'-0"  
 job # : 21022

sheet contents:  
 ELEVATIONS

sheet # :  
 A1.3  
 of 13 sheets



WEST ELEVATION



NORTH ELEVATION





Farhat Design  
 597-694-7800  
 10703 N. Kroyston Rd.  
 Grand Ledge, MI 48837

REVISION DATE	
9-4-22	
9-26-22	
9-27-22	
10-11-22	

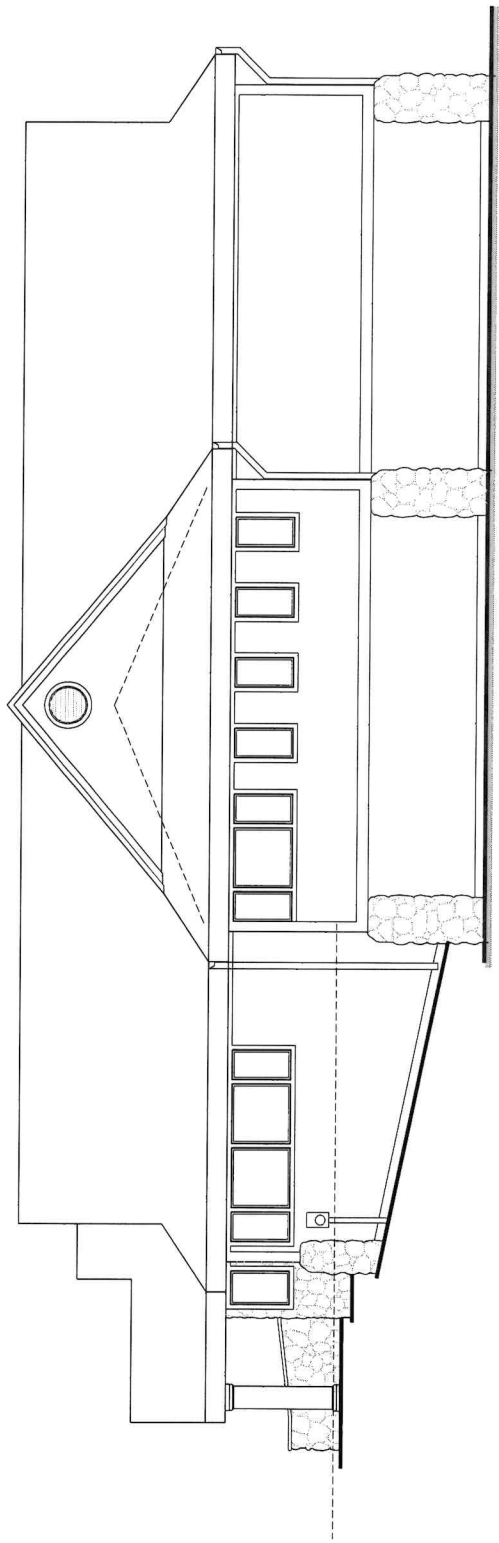
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 OKEMOS, MICHIGAN



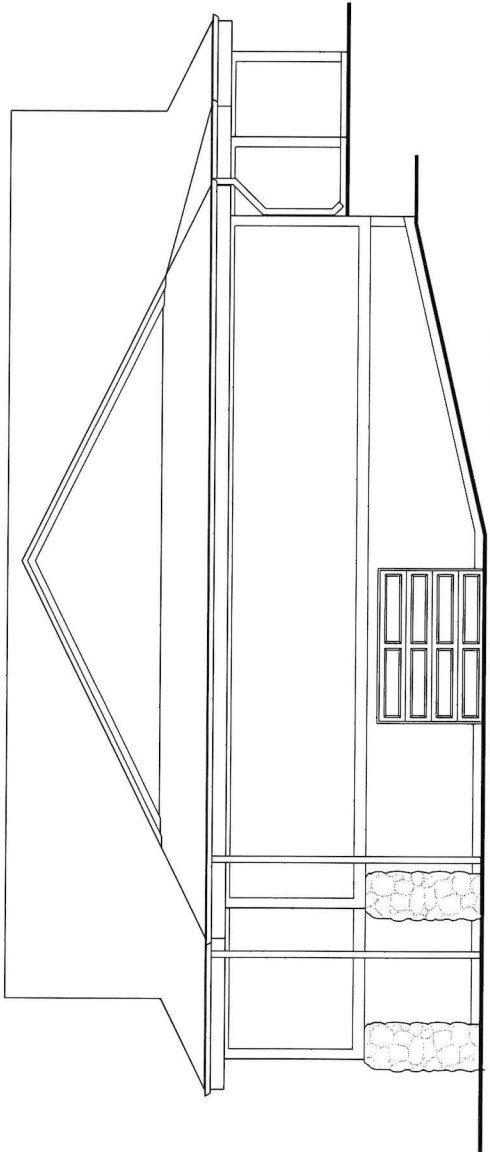
drawn by:  
**PAUL J. FARHAT**  
 date:  
**9-6-22**  
 scale:  
**1/8" = 1'-0"**  
 job #:  
**21022**

Sheet Contents:  
**ELEVATIONS**

Sheet #:  
**A1.4**  
 OF 15 SHEETS



SOUTH ELEVATION



EAST ELEVATION





Fairhat Design  
 1775 W. 47th Street  
 Grand Rapids, MI 49507

REVISION DATE  
 4-4-22  
 4-26-22  
 4-27-22  
 10-11-22

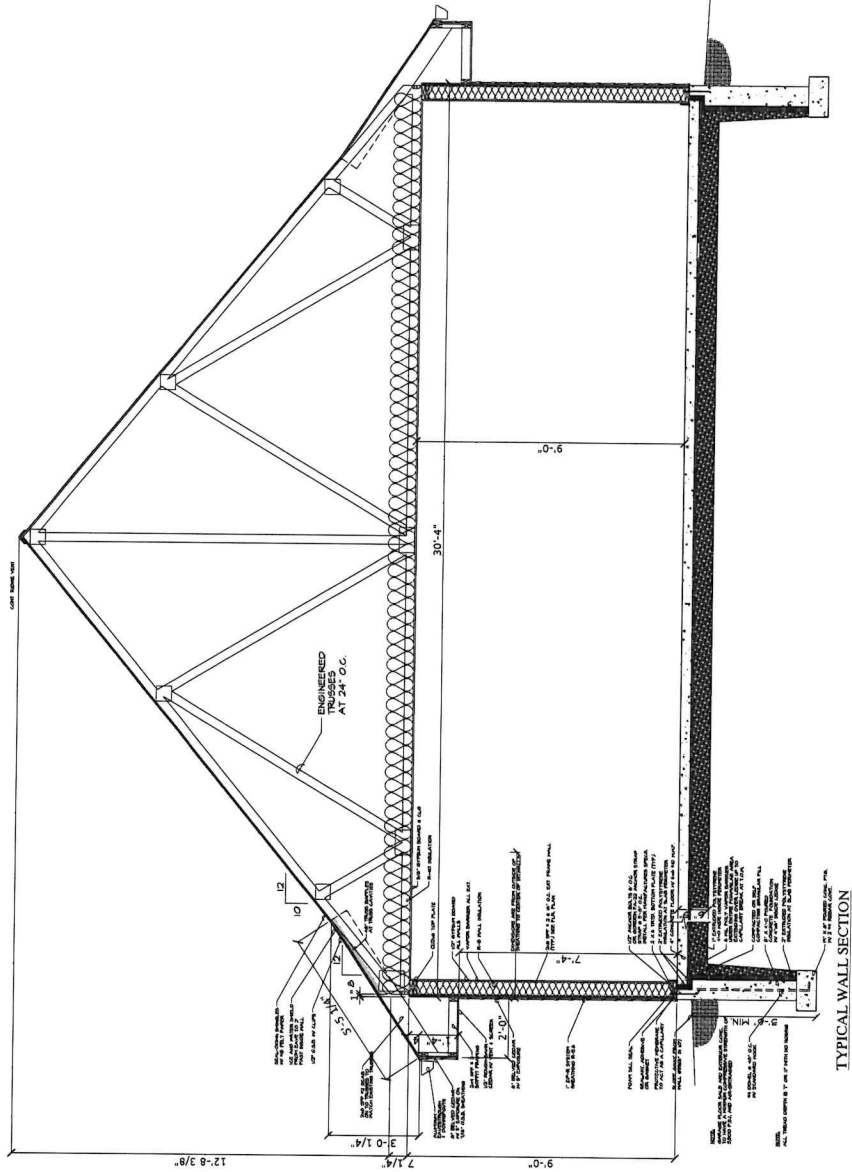
SCHULTZ VETERINARY CLINIC  
 OKEMOS, MICHIGAN



drawn by: PAUL J. FARHAT  
 d.j.c.: PAUL J. FARHAT  
 9-6-22  
 Scale: 1/8" = 1'-0"  
 Job #: 21022

Sheet contents:  
 WALL SECTION

Sheet # : S1.5  
 of 13 SHEETS



TYPICAL WALL SECTION  
 SCALE: 1/8" = 1'-0"



Farhat Design  
 875 664-7600  
 10725 N. Kaysan Rd.  
 Grand Rapids, MI 49507

revision: JBC

- 9-19-22
- 9-26-22
- 9-27-22
- 10-11-22
- 1-21-23

SCHULTZ VETERINARY CLINIC  
 OKEMOS, MICHIGAN



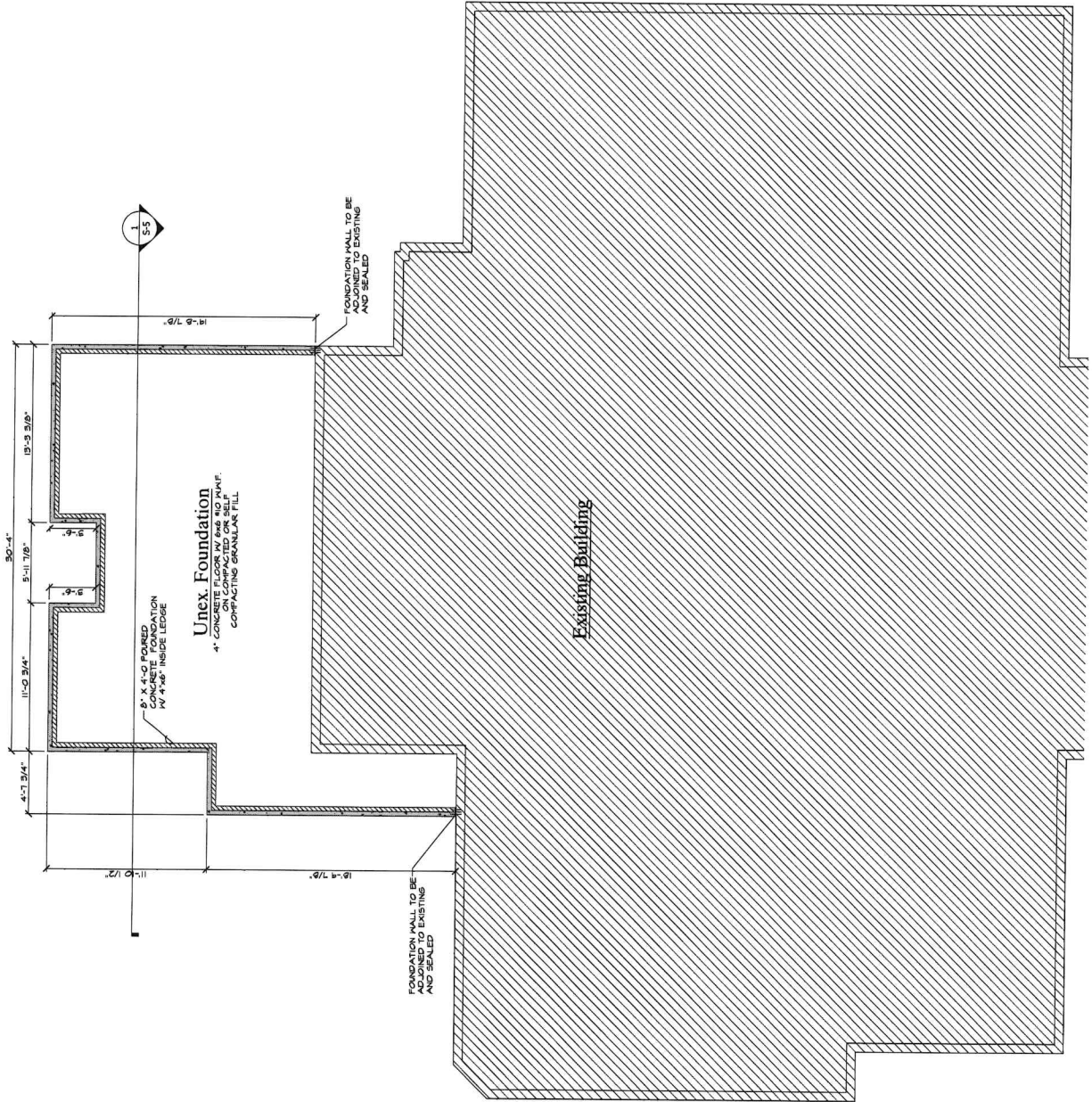
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**PAUL J. FARHAT**  
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 job #:  
 21022

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**FOUNDATION**

sheet #:

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OF 13 SHEETS

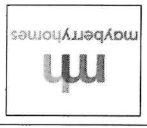




Farhat Design  
 577-694-7600  
 12773 N. Ripston Rd.  
 Grand Rapids, MI 49507

revision	date
4-4-22	
4-26-22	
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10-11-22	
12-21-23	

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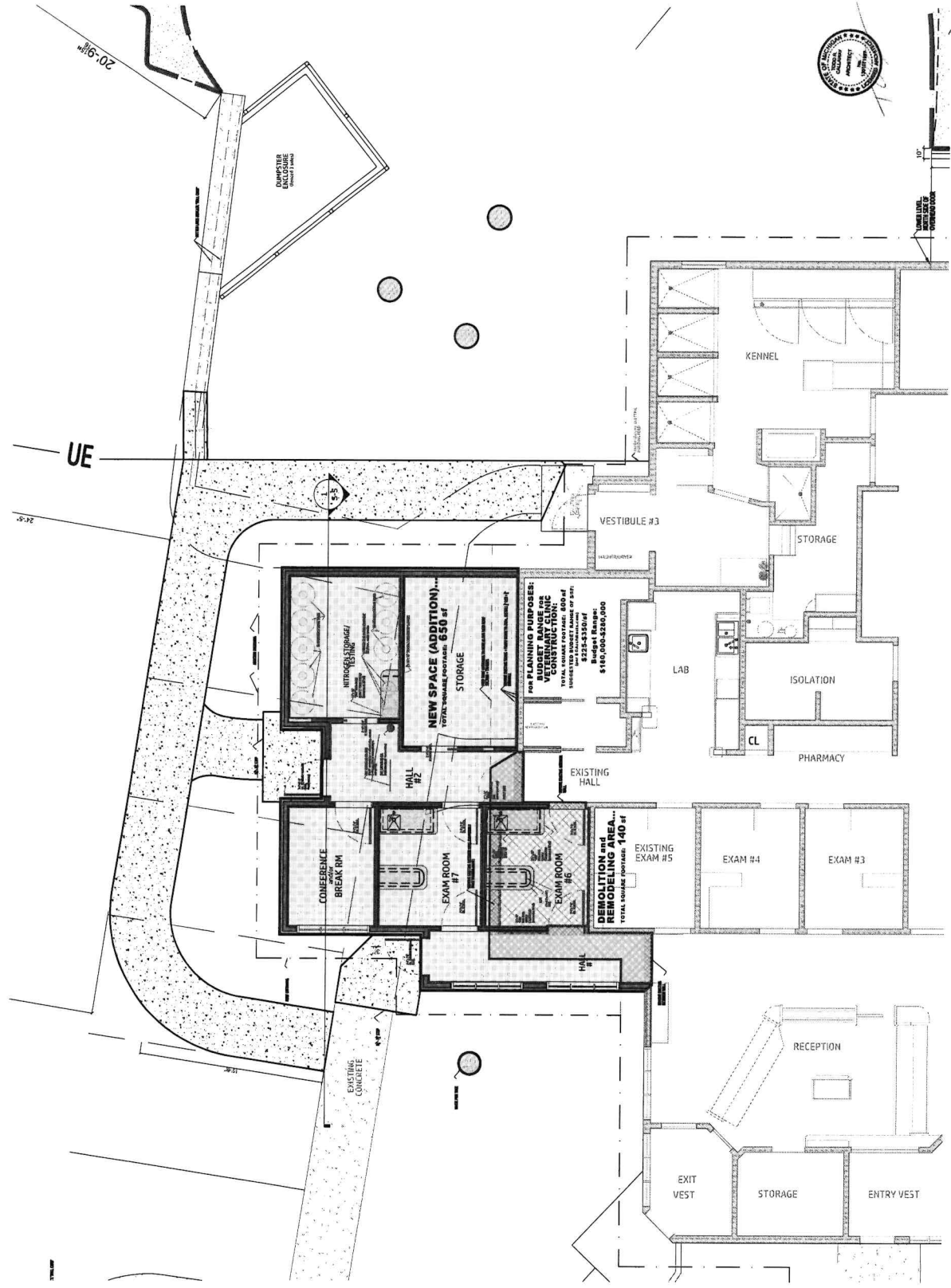


drawn by: PAUL J. FARHAT  
 date: 4-6-22  
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 job #: 210272

sheet contents:  
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 D1.7

OF 13 SHEETS



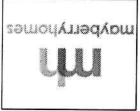
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507-684-7800  
10773 N. Kroyton Rd.  
Grand Rapids, MI 49507

revision	date
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2	4-26-22
3	9-27-22
4	10-11-22
5	1-27-23

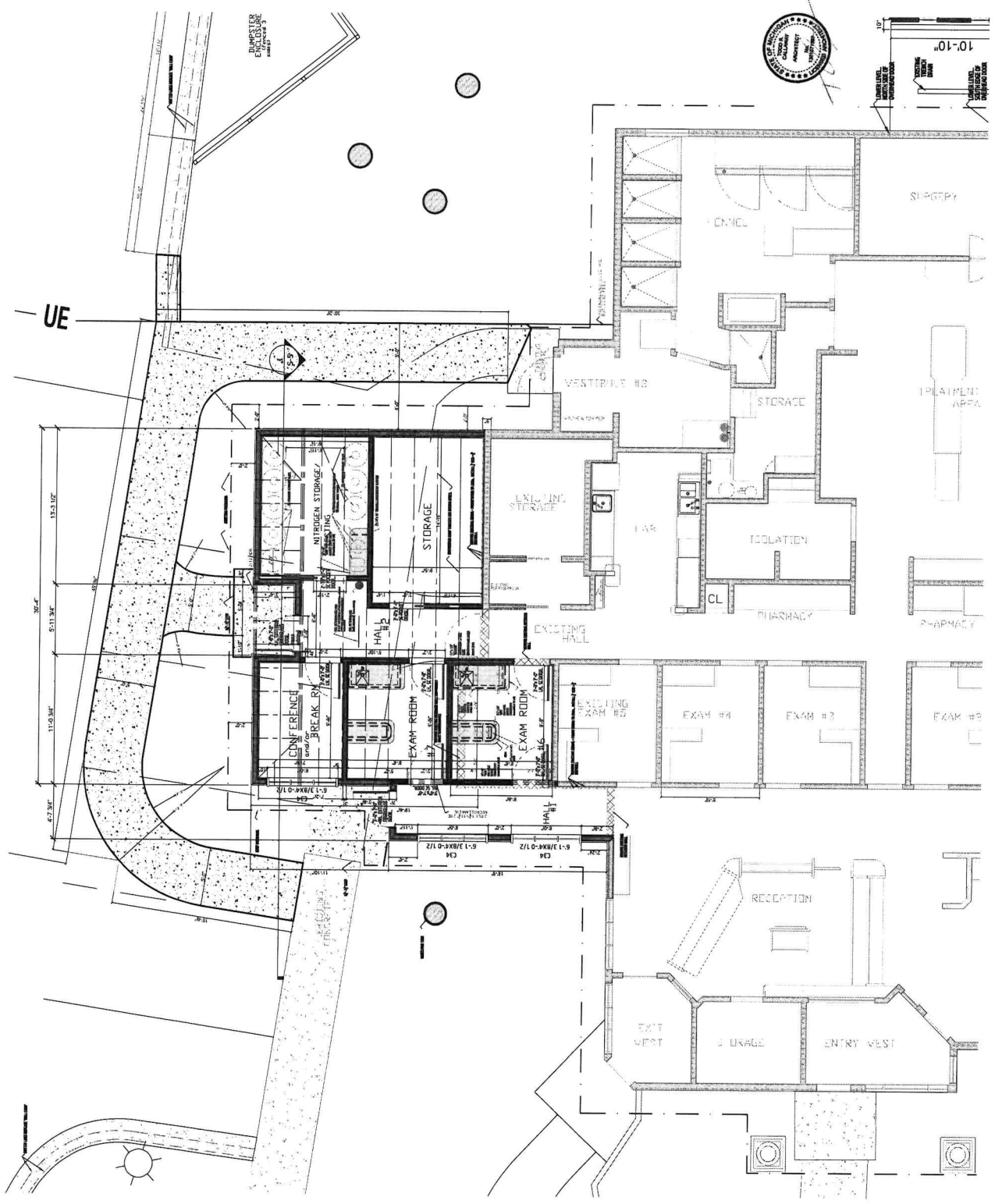
SCHULTZ VETERINARY CLINIC  
OKEMOS, MICHIGAN



drawn by:  
**PAUL J. FARHAT**  
date:  
4-6-22  
scale:  
1/8" = 1'-0"  
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21022

SHEET CONTENTS:  
FLOOR PLAN

SHEET #:  
A1.8  
OF 13 SHEETS



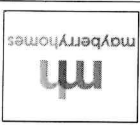




Farhat Design  
597-694-7620  
1770 N. Kalamazoo Rd.  
Grand Rapids, MI 49503

revision	date
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2	9-26-22
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4	10-11-22
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SCHULTZ VETERINARY CLINIC  
KREMOS, MICHIGAN



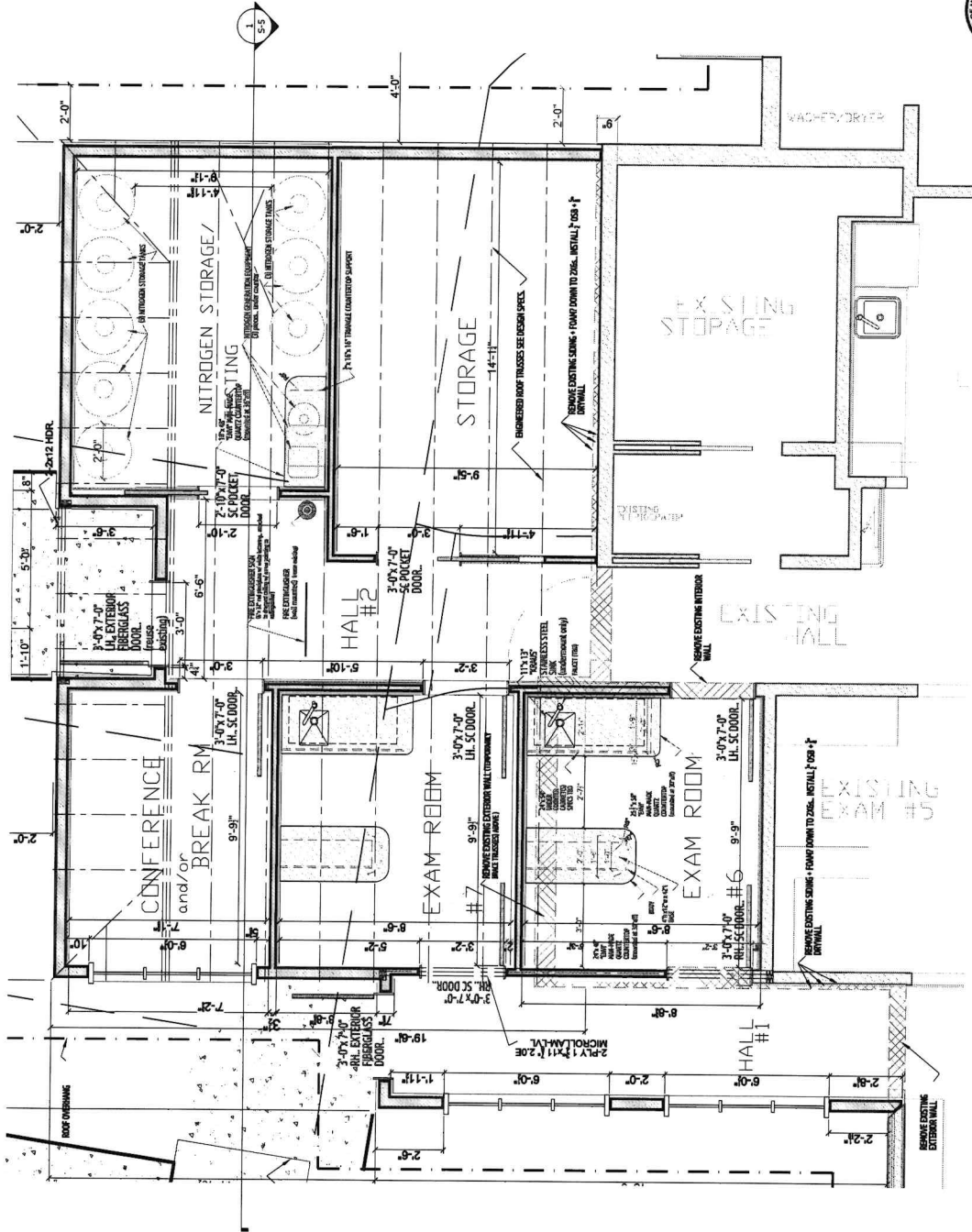
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date:  
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21022

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1/2" SCALE

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OF 13 SHEETS



revision date:	4-4-22
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	9-27-22
	10-11-22
	1-27-23

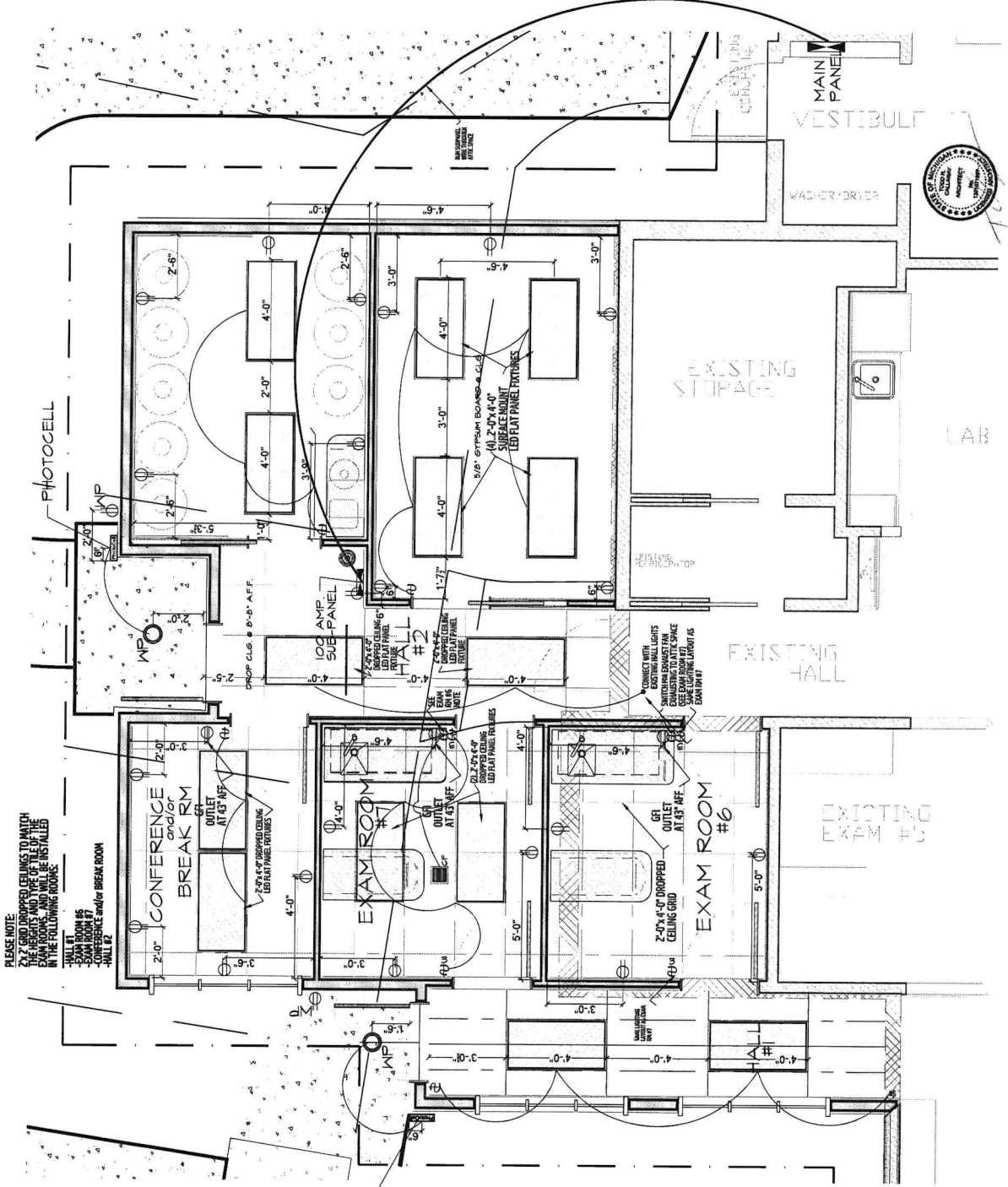
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OKEMOS, MICHIGAN



drawn by:  
PAUL J. FARHAT  
date: 9-6-22  
scale: 1/8" = 1'-0"  
job #: 21022

sheet contents:  
ELECTRICAL

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E1.10  
OF 13 SHEETS



PLEASE NOTE:  
2x2 GRID DROPPED CEILING TO MATCH EXAM ROOMS AND THE REST OF THE EXAM ROOMS AND THE REST OF THE EXAM ROOMS TO BE INSTALLED IN THE FOLLOWING ROOMS:

- HALL #1
- EXAM ROOM #6
- CONFERENCE BREAK ROOM
- HALL #2

ELECTRICAL KEY	
	LED CEILING LIGHT FIXTURE
	LED WALL LIGHT FIXTURE
	LED BATH VANITY FIXTURE
	RECESSED LIGHT FIXTURE (LED)
	CEILING MOUNT EXHAUST FAN
	1/2 GRID

ELECTRICAL KEY	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY OR MORE SWITCH
	FAN SWITCH
	DUPLEX ELECTRICAL OUTLET
	OUTLET BY SWITCH
	220 VOLT OUTLET
	WEATHER PROOF DUPLEX OUTLET

**MECHANICAL**  
NOTE:  
SHP DRAWINGS BY CONTRACTOR  
NEW ADDITION TO USE HEAT PUMP SIZED BY CONTRACTOR  
DUCT SIZE AND LOCATION BY CONTRACTOR

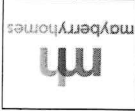
**PLAUMBING**  
NOTE:  
SHP DRAWINGS BY CONTRACTOR



Farhat Design  
 10725 N. Knappton Rd.  
 Grand Rapids, MI 49537

REVISION DATE	DESCRIPTION
9-9-22	
9-26-22	
9-27-22	
10-11-22	
1-27-23	

SCHULTZ VETERINARY CLINIC  
 OKEMOS, MICHIGAN



drawn by: PAUL J. FARHAT  
 date: 9-6-22  
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 job #: 21022

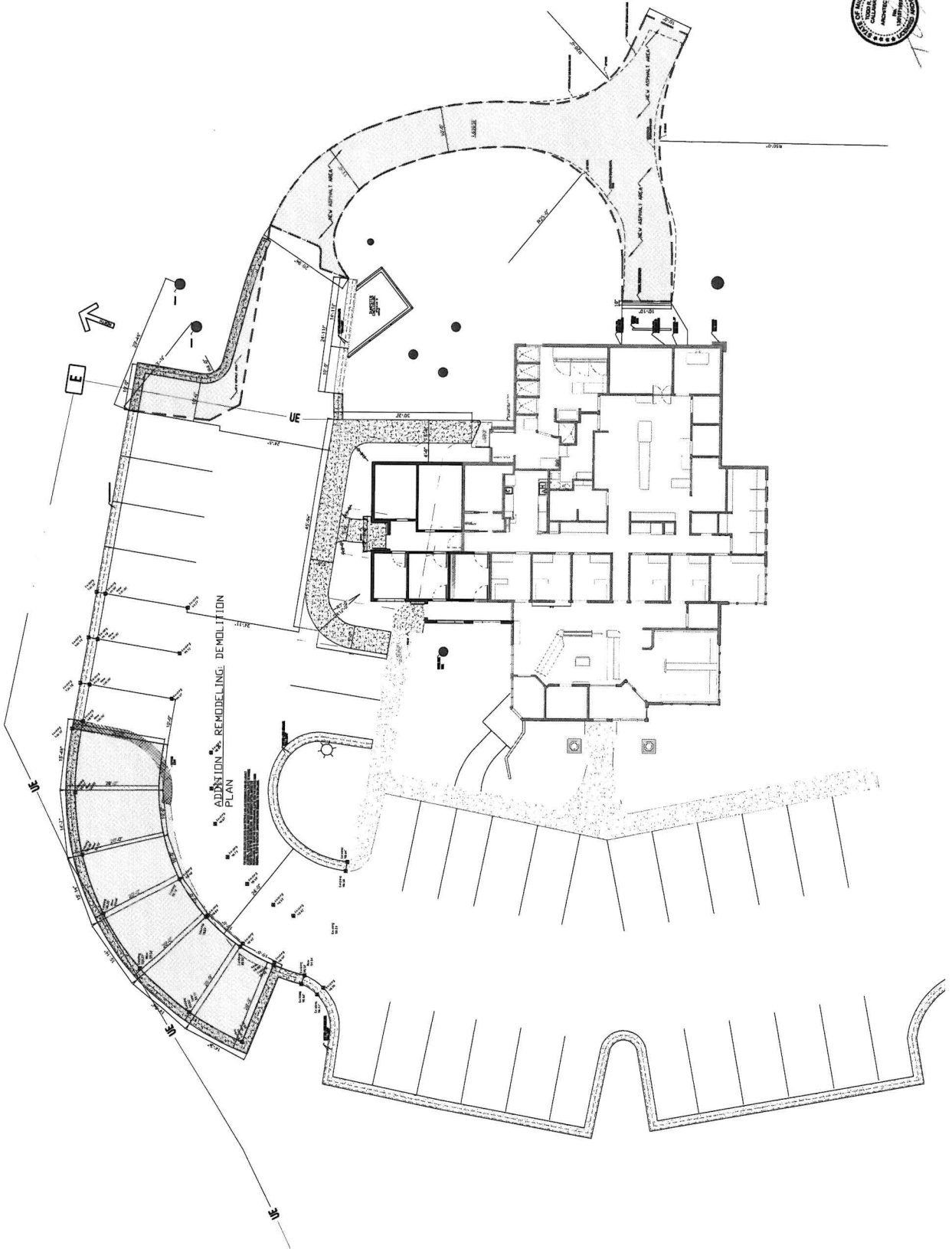
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 SITE PLAN

1" = 10' 0"

SHEET #:

A1.11

OF 13 SHEETS







**To: Planning Commission**

**From: Keith Chapman, Assistant Planner**

**Date: February 21, 2023**

**Re: Special Use Permit #23005 (4880 Marsh Road) - Tidal Wave Auto Spa, construct a drive-through car wash at 4880 Marsh Road.**

---

New Potato Creek Holding, LLC has requested special use permit (SUP) approval to construct a 3,690 square foot drive-through car wash with 28 vacuum stations at 4880 Marsh Road. The 2.92-acre subject site is zoned C-3 (Commercial). Drive through car wash facilities is permitted by special use permit in the C-3 (Commercial) zoning district. The applicant intends to demolish the existing 9,542 square foot building currently on site.

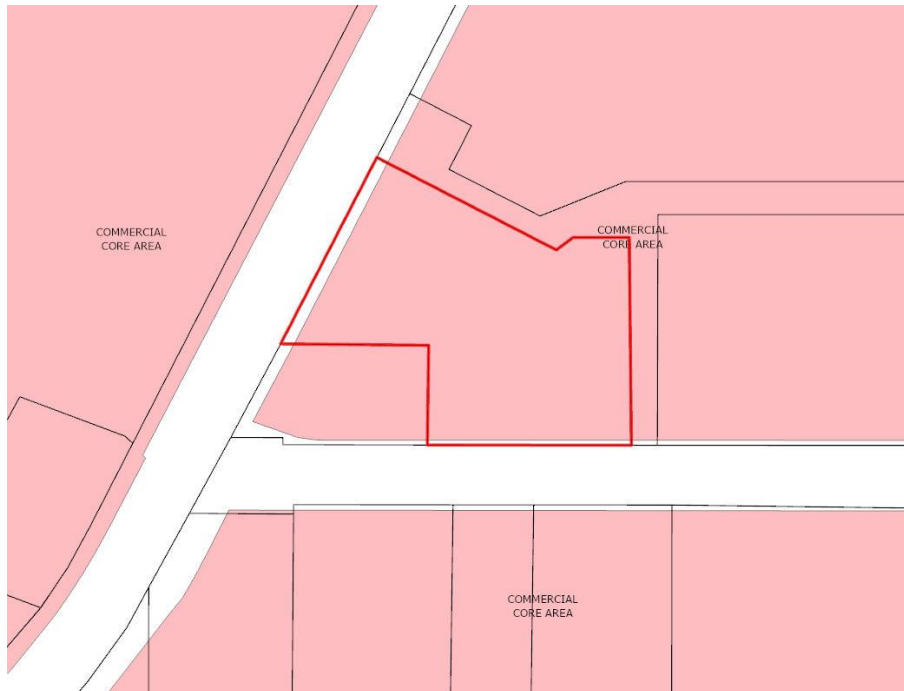
#### LOCATION MAP



**Master Plan**

The Future Land Use Map from the 2017 Master Plan designates the subject property in the Commercial core category. The proposed use is consistent with the future land use Commercial core category.

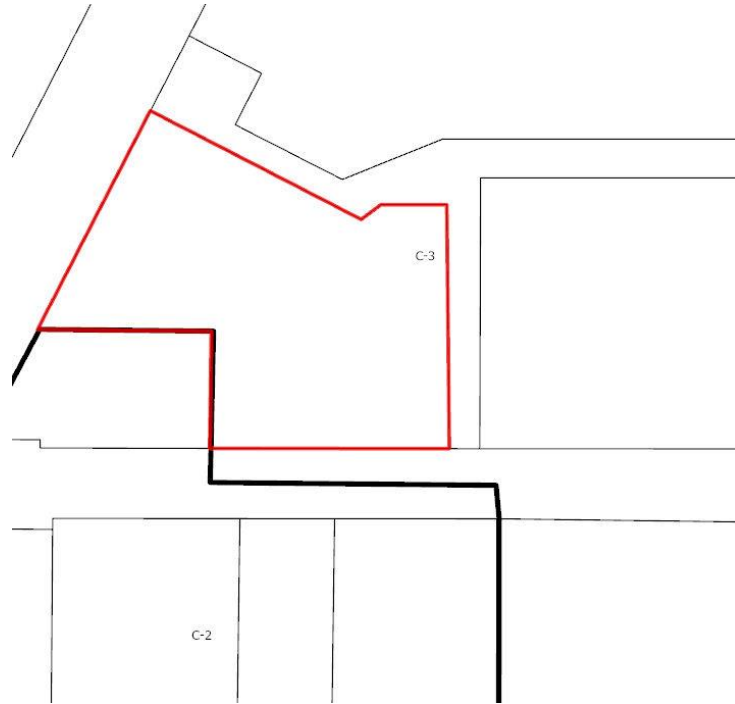
**FUTURE LAND USE MAP**



**Zoning**

Drive-through car wash facilities are allowed by special use permit in the C-3 zoning district. The subject site is zoned C-3 (Commercial) which requires a minimum of 100 feet of lot frontage and 10,000 square feet of lot area. The subject site has 299.5 feet of lot frontage along Marsh Road and 285.43 feet of lot frontage along Newman Road and has 127,195.2 square feet, or 2.92 acre, of lot area.

### ZONING MAP



### Physical Features

The approximate 2.92-acre site is L-shaped and located at the corner of Marsh Road and Newman Road. Currently, the site is developed with a 9,542 square foot building constructed in 2006. The building previously contained Outback Steakhouse. The site does not have any special designation on the Township Greenspace Plan and is not located in a floodplain or near any wetlands.

### Streets and Traffic

The site is located on the east side of Marsh Road, North of Newman Road. Access to the site is provided on Marsh and Newman. A seven-foot-wide pathway is installed along Marsh Road and Newman Road.

Marsh Road has four lanes and a center turn lane with curb and gutter installed. It is classified as a Principal Arterial Street, which requires a setback of 100 feet from the centerline of the right-of-way. Newman Road has two lanes and a center turn lane with curb and gutter. It is classified as a collector street and requires an 85' setback from the centerline of the street right-of-way.



The applicant submitted a trip generation analysis which estimates future vehicle trips that could be generated by the proposed development. The Institute of Transportation Engineers (ITE) trip generation rates for a Tunnel Automated Car Wash (Land Use Code 948) was selected to represent the proposed development. The manual only includes traffic counts for PM Peak Hour and Saturday midday peak hour and does not include a weekday total. The following table summarizes findings from the submitted trip generation analysis.

Description	PM Peak Hour			Saturday Midday Peak Hour		
	In	Out	Total	In	Out	Total
Tunnel Automated Car Wash, Code 948	39	39	78	19	22	41

A traffic assessment is required for new special uses which could generate between 50 and 249 directional trips during morning and afternoon peak hours of traffic. A traffic impact study is required for new special uses which would generate over 250 directional trips during morning and afternoon peak hours of traffic, or over 750 trips on an average day. An average day is the average 24-hour total of all vehicle trips counted to and from a study site from Monday through Friday. Key findings of the submitted study include:

- Under build conditions, the proposed development is projected to generate 78 total trips during the P.M. peak hour (39 in / 39 out) and 41 total trips during the Saturday peak hour of generation (19 in / 22 out). The proposed development is projected to generate 6 fewer total trips during the PM peak hour and 63 fewer total trips during the Saturday peak hour of generation than the former land use, a recently closed Outback Steakhouse.
- Marsh Road and Site Driveway
  - Based on the right turn lane guidelines for four-lane roadways contained in National Cooperative Highway Research Program (NCHRP) Report 279, a northbound right turn lane would not be required on Marsh Road to serve the site.
- Newman Road and Middle Site Driveway
  - Based on the right turn lane guidelines for two-lane roadways contained in NCHRP Report 279, a westbound right turn lane would not be required on Newman Road to serve the site.
- The existing site access is adequate to serve the proposed Tidal Wave Car Wash development.

**Utilities**

The site is served by public water and sanitary sewer and the existing system can serve the new proposed use.





## **Setbacks**

The submitted site plan shows the parking lot landscape buffer along Marsh Road is 10 feet. A 20-foot parking lot landscape buffer is required by the Zoning Ordinance. The parking lot near the south property line is shown 6.6 feet from the property line. When abutting nonresidential uses, the Zoning Ordinance requires a 15' parking lot landscape buffer. The applicant will need to adjust the plan or be required to receive variances from the Zoning Board of Appeals for these setbacks. The canopies for the vacuum stations are shown to project into the front of the proposed car wash. Accessory structures cannot project in front of the principal structure. An updated plan set that meets the Ordinance will need to be submitted for site plan review.

## **Staff Analysis**

The existing building will be demolished and a new parking lot along with landscaping will be added to the site. The proposed drive-through car wash will be one car lane wide. There are 28 vacuums located on the property. Direct pedestrian access from the building to the sidewalk is required by the Zoning Ordinance.

Section 86-126 of the Code of Ordinances, the general special use permit criteria, should be used by the Planning Commission in considering the proposed request, which are as follows:

1. *The project is consistent with the intent and purposes of this chapter.*  
The Commercial district allows for commercial buildings. The proposed development is well within the intent and purpose of this zoning district.
2. *The project is consistent with applicable land use policies contained in the Township's comprehensive development plan of current adoption.*

The proposal meets, Objective 3.D, Promote Economic Development.

3. *The project is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the same area.*

The proposed car wash is proposed to be constructed in a manner that is harmonious to the surrounding commercial buildings.

4. *The project will not adversely affect or be hazardous to existing neighboring uses.*

The proposed car wash will not adversely affect the surrounding uses. This is a main commercial corridor and there are other commercial structures surrounding the property.

5. *The project will not be detrimental to the economic welfare of surrounding properties or the community.*

The building is similar to other surrounding buildings and will not be detrimental to the economic welfare of surrounding properties or community.

- 6. The project is adequately served by public facilities, such as existing roads, schools, stormwater drainage, public safety, public transportation, and public recreation, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide any such service.*

The project is adequately served by roads, utilities, and other such public services that will be needed by the project.

- 7. The project is adequately served by public sanitation facilities if so designed. If on-site sanitation facilities for sewage disposal, potable water supply, and stormwater are proposed, they shall be properly designed and capable of handling the long-term needs of the proposed project.*

Public sanitation facilities are adequate for the project, as are public water facilities.

- 8. The project will not involve uses, activities, processes, materials, and equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.*

The Zoning Ordinance states no noise exceeding 70 dBA shall be emitted, as measured from a property line. The applicant will be required to demonstrate noise levels for the site will not exceed 70 dBA. Staff's experience from similar uses indicates the site should easily meet this standard.

There are four specific standards for drive-through car washes in the C-3 zoning district noted in Section 86-405(e)(13)(c) of the Code of Ordinances, which are as follows:

- 1. In self-service car washes, no equipment, such as a vacuum cleaner, shall be located in the front yard.*

This building is a drive through car wash so this is not applicable.

- 2. Buildings shall be set back a minimum of 500 feet from an abutting residential district.*

There are no residential districts nearby.

- 3. Storage of flammable products. Outside aboveground tanks for the storage of gasoline, oil or other flammable liquids or gases, other than liquid petroleum gas, for sale shall be prohibited.*

There is no indication of any hazardous materials storage provided by the applicant. The applicant should confirm this going forward.

- 4. Car washes, including self-service types, shall not be allowed to operate so as to adversely affect the adjacent residential properties and surrounding area.*

There are no residential properties nearby and the car wash will not negatively impact surrounding commercial uses.

The Planning Commission has the ability to place conditions on the SUP to ensure there are no conflicts between the drive-through car wash and adjacent residences or businesses. If the Planning Commission chooses to impose conditions, they should be specific in how the condition is addressing a potential conflict.

In reviewing the proposed Special Use Permit Staff has identified no major concerns that would negatively impact surrounding properties or the Township at large. The proposed drive-through car wash would be a positive addition to the Marsh Road corridor and allow for the redevelopment of a vacant property. Staff would recommend **approval** of the proposed Special Use Permit to allow for the construction of a 3,690 square foot drive-through car wash with 28 vacuum stations on the site.

### **Planning Commission Options**

The Planning Commission may approve, approve with conditions, or deny the special use permit. A resolution will be provided at a future meeting.

### **Attachments**

1. Special use permit application and attachments.

**CHARTER TOWNSHIP OF MERIDIAN  
DEPARTMENT OF COMMUNITY PLANNING AND DEVELOPMENT  
5151 MARSH ROAD, OKEMOS, MI 48864  
PLANNING DIVISION PHONE: (517) 853-4560, FAX: (517) 853-4095**

**SPECIAL USE PERMIT APPLICATION**

**Before submitting this application for review, an applicant may meet with the Director of Community Planning and Development to discuss the requirements for a special use permit and/or submit a conceptual plan for review to have preliminary technical deficiencies addressed prior to submittal of the application. If the property or land use is located in the following zoning districts RD, RC, RCC, RN then the applicant must meet with the Planning Director to discuss technical difficulties before filing a formal application.**

**Part I**

- A. Applicant New Potato Creek Holding, LLC c/o PJ Land Development, LLC  
 Address of Applicant 71 Carolyn Boulevard, Farmingdale, NY 11735  
 Telephone - Work (631) 449-3791 Home \_\_\_\_\_ Fax \_\_\_\_\_ Email mimcgrath  
 Interest in property (circle one): Owner \_\_\_\_\_ Tenant \_\_\_\_\_ Option \_\_\_\_\_ Other \_\_\_\_\_  
 (Please attach a list of all persons with an ownership interest in the property.) @pjlandllc.com
- B. Site address / location / parcel number 4880 Marsh Road, Okemos, MI 48864 / 33-02-02-22-126-012  
 Legal description (please attach if necessary) Attached, see ALTA Survey Plan  
 Current zoning C-3 Commercial District  
 Use for which permit is requested / project name Car Wash / Tidal Wave Auto Spa Okemos, MI  
 Corresponding ordinance number 86-405.e.13.c
- C. Developer (if different than applicant) \_\_\_\_\_  
 Address \_\_\_\_\_  
 Telephone – Work \_\_\_\_\_ Home \_\_\_\_\_ Fax \_\_\_\_\_
- D. Architect, Engineer Planner or Surveyor responsible for design of project if different from applicant:  
 Name Bohler Engineering PA, LLC - Kayleigh Bevington, Project Manager  
 Address 1 Allegheny Square, Suite 402, Pittsburgh, PA 15212  
 Telephone – Work (724) 638-8500 Home \_\_\_\_\_ Fax \_\_\_\_\_
- E. Acreage of all parcels in the project: Gross \_\_\_\_\_ Net \_\_\_\_\_ 2.92 AC - Total (before subdivision)  
 1.54 AC - Proposed Lot
- F. Explain the project and development phases: Demolition of the existing building and site features and construction of a car wash facility and associated parking lot, landscaping, utilities, etc.
- G. Total number of:  
 Existing: structures 0 bedrooms 0 offices 0 parking spaces 0 carports 0 garages 0  
 Proposed: structures 5 bedrooms 0 offices 0 parking spaces 35 carports 0 garages 0
- H. Square footage: existing buildings 0 proposed buildings 12,260  
 Usable Floor area: existing buildings 0 proposed buildings 11,360
- I. If employees will work on the site, state the number of full time and part time employees working per shift and hours of operation: 15 total employees (full & part time), 2-3 per shift, 5 max. at peak shift
- J. Existing Recreation: Type N/A Acreage N/A  
 Proposed Recreation: Type N/A Acreage N/A  
 Existing Open Space: Type Grass/Landscaping Acreage Accounted in proposed  
 Proposed Open Space: Type Grass/Landscaping Acreage 0.53 AC

K. If Multiple Housing:

Total acres of property	<u>N/A</u>		
Acres in floodplain	<u>N/A</u>	Percent of total	<u>N/A</u>
Acres in wetland (not in floodplain)	<u>N/A</u>	Percent of total	<u>N/A</u>
Total dwelling units	<u>N/A</u>		
Dwelling unit mix:			
Number of single family detached:		for Rent	<u>N/A</u> Condo <u>N/A</u>
Number of duplexes:		for Rent	<u>N/A</u> Condo <u>N/A</u>
Number of townhouses:		for Rent	<u>N/A</u> Condo <u>N/A</u>
Number of garden style apartments:		for Rent	<u>N/A</u> Condo <u>N/A</u>
Number of other dwellings:		for Rent	<u>N/A</u> Condo <u>N/A</u>

L. The following support materials must be submitted with the application:

1. Nonrefundable Fee.
2. Legal Description of the property.
3. Evidence of fee or other ownership of the property.
4. Site Plan containing the information listed in the attachment to this application.
5. Architectural sketches showing all sides and elevations of the proposed buildings or structures, including the project entrance, as they will appear upon completion. The sketches should be accompanied by material samples or a display board of the proposed exterior materials and colors.
6. A Traffic Study, prepared by a qualified traffic engineer, based on the most current edition of *Evaluating Traffic Impact Studies: A Recommended Practice for Michigan Communities*, published by the State Department of Transportation.
  - a. A traffic assessment will be required for the following:
    - 1) New special uses which could, or expansion or change of an existing special use where increase in intensity would, generate between 50 to 99 directional trips during a peak hour of traffic.
    - 2) All other special uses requiring a traffic assessment as specified in the Township Code of Ordinances, Chapter 86, Article IV, Division 2.
  - b. A traffic impact study will be required for the following:
    - 1) New special uses which would, or expansion or change of an existing special use where increase in intensity would, generate over 100 directional trips or more during a peak hour of traffic, or over 750 trips on an average day.
    - 2) All other special uses requiring a traffic assessment as specified in the Township Code of Ordinances, Chapter 86, Article IV, Division 2.
7. Natural features assessment which includes a written description of the anticipated impacts on the natural features at each phase and at project completion that contains the following:
  - a. An inventory of natural features proposed to be retained, removed, or modified. Natural features shall include, but are not limited to, wetlands, significant stands of trees or individual trees greater than 12 inches dbh, floodways, floodplains, waterbodies, identified groundwater vulnerable areas, slopes greater than 20 percent, ravines, and vegetative cover types with potential to sustain significant or endangered wildlife.
  - b. Description of the impacts on natural features.
  - c. Description of any proposed efforts to mitigate any negative impacts.

The natural features assessment may be waived by the Director of Community Planning and Development in certain circumstances.

- M. Any other information specified by the Director of Community Planning and Development which is deemed necessary to evaluate the application.
- N. In addition to the above requirements, for zoning districts, **RD, RC, RCC, RN, and CV** and **Group Housing Residential Developments** the following is required:
1. Existing and proposed contours of the property at two foot intervals based on United States Geological Survey (USGS) data.
  2. Preliminary engineering reports in accordance with the adopted Township water and sewer standards, together with a letter of review from the Township Engineer.
  3. Ten copies of a report on the intent and scope of the project including, but not limited to: Number, size, volume, and dimensions of buildings; number and size of living units; basis of calculations of floor area and density and required parking; number, size, and type of parking spaces; architectural sketches of proposed buildings.
  4. Seven copies of the project plans which the Township shall submit to local agencies for review and comments.
- O. In addition to the above requirements, a special use application in zoning district **RP** requires the following material as part of the site plan:
1. A description of the operations proposed in sufficient detail to indicate the effects of those operations in producing traffic congestion, noise, glare, air pollution, water pollution, fire hazards or safety hazards or the emission of any potentially harmful or obnoxious matter or radiation.
  2. Engineering and architectural plans for the treatment and disposal of sewerage and industrial waste tailings, or unusable by-products.
  3. Engineering and architectural plans for the handling of any excessive traffic congestion, noise, glare, air pollution, or the emission of any potentially harmful or obnoxious matter or radiation.
- P. In addition to the above requirements, a special use application for a use in the Floodway Fringe of zoning district **CV** requires the following:
1. A letter of approval from the State Department of Environmental Quality.
  2. A location map including existing topographic data at two-foot interval contours at a scale of one inch representing 100 feet.
  3. A map showing proposed grading and drainage plans including the location of all public drainage easements, the limits, extent, and elevations of the proposed fill, excavation, and occupation.
  4. A statement from the County Drain Commissioner, County Health Department, and Director of Public Works and Engineering indicating that they have reviewed and approved the proposal.
- Q. In addition to the above requirements, a special use application for a use in the Groundwater Recharge area or zoning district **CV** requires the following:
1. A location map including existing topographic data at two-foot interval contours.
  2. A map showing proposed grading and drainage plans including the location of all public drainage easements, the limits and extent of the proposed fill, excavation, and occupation.
  3. A statement from the County Drain Commissioner, County Health Department, and Director of Public Works and Engineering indicating that they have reviewed and approved the proposal.
- R. In addition to the above requirements, the Township Code of Ordinances, Article VI, should be reviewed for the following special uses: group housing residential developments, mobile home parks, nonresidential structures and uses in residential districts, planned community and regional shopping center developments, sand or gravel pits and quarries, sod farms, junk yards, sewage treatment and disposal installations, camps and clubs for outdoor sports and buildings greater than 25,000 square feet in gross floor area.

**Part II**

**SUP REQUEST STANDARDS  
Township Code of Ordinances, Section 86-126**

**Applications for Special Land Uses will be reviewed with the standards stated below. An application that complies with the standards stated in the Township Ordinance, conditions imposed pursuant to the Ordinance, other applicable Ordinances, and State and Federal statutes will be approved. Your responses to the questions below will assist the Planning Commission in its review of your application.**

- (1) The project is consistent with the intent and purposes of this chapter.
- (2) The project is consistent with applicable land use policies contained in the Township's Master Plan of current adoption.
- (3) The project is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the same area.
- (4) The project will not adversely affect or be hazardous to existing neighboring uses.
- (5) The project will not be detrimental to the economic welfare of surrounding properties or the community.
- (6) The project is adequately served by public facilities, such as existing roads, schools, stormwater drainage, public safety, public transportation, and public recreation, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide any such service.
- (7) The project is adequately served by public sanitation facilities if so designed. If on-site sanitation facilities for sewage disposal, potable water supply, and storm water are proposed, they shall be properly designed and capable of handling the longterm needs of the proposed project.
- (8) The project will not involve uses, activities, processes, materials, and equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.
- (9) The project will not directly or indirectly have a substantial adverse impact on the natural resources of the Township, including, but not limited to, prime agricultural soils, water recharge areas, lakes, rivers, streams, major forests, wetlands, and wildlife areas.

**Part III**

I (we) hereby grant permission for members of the Charter Township of Meridian's Boards and/or Commissions, Township staff member(s) and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purpose of gathering information including but not limited to the taking and the use of photographs.

Yes     No    (Please check one)

By the signature(s) attached hereto, I (we) certify that the information provided within this application and accompanying documentation is, to the best of my (our) knowledge, true and accurate

Michael McGrath  
Signature of Applicant

1/9/2022  
Date

Michael McGrath  
Type/Print Name

Fee: \$500.00

Received by/Date: \_\_\_\_\_

**Special Use Permit Application Attachment**  
**Site Plan Requirements Per Section 86-124(c)(4)**

A site plan, drawn to a legible scale, containing the following information where applicable:

- a. Boundaries of the subject property.
- b. Total area of the subject property.
- c. Location of all existing and proposed structures.
- d. Approximate location and distance of all structures within 100 feet of the subject property.
- e. Uses of existing and proposed buildings, on the subject site.
- f. Proposed means of vehicular and pedestrian ingress and egress to the subject property.
- g. Public and private roads and streets, rights-of-way, and easements, indicating names and widths, which abut or cross the site.
- h. Existing and proposed parking spaces, and vehicular and pedestrian circulation patterns.
- i. The buildable area of the subject property indicating all required setbacks, yards and open space.
- j. Zoning classification of the subject and adjacent properties.
- k. Existing and proposed fencing, screening, landscaping, and buffers.
- l. Location and sizes of existing utilities including power lines and towers, both above and below the ground.
- m. Amount and location of all impervious surfaces.
- n. The verified boundaries of all natural water features and required setback lines.





# Memorandum

January 25, 2023

<b>To</b>	Ms. Kayleigh Bevington Project Manager Bohler	<b>Tel</b>	248-479-0226
<b>Copy to</b>	Scott J. Adamowski, P.E., GHD Engineering, PC	<b>Email</b>	matthew.kolis@ghd.com
<b>From</b>	Matthew Kolis, P.E., PTOE, GHD	<b>Ref. No.</b>	12602458
<b>Subject</b>	<b>Tidal Wave Car Wash Traffic Assessment Meridian Township, Michigan</b>		

GHD Services, Inc. and GHD Engineering, PC (GHD) has prepared a Traffic Assessment for a proposed Tidal Wave Car Wash to be located on the east side of Marsh Road, north of Newman Road on the site of the recently closed Outback Steakhouse, in Meridian Township, Ingham County, Michigan. The site location is shown on Figure 1. (Note, all figures are compiled at the end of this memorandum.)

A single-tunnel car wash with two pay stations and 28 vacuum stations is proposed to be constructed. The site is served by four access driveways: one driveway directly on Marsh Road, two driveways providing access to Newman Road, and one driveway providing internal access to the shopping mall to the east. There are no changes proposed to the existing access of the driveways. The hours of operation for the site are 8:00 A.M. to 8:00 P.M. The proposed site layout is shown on Figure 2.

The purpose of this traffic assessment was to compare the trip generation of the proposed car wash with that of the Outback Steakhouse to ensure the existing site access will be adequate to serve the proposed car wash use. The traffic assessment was completed per Meridian Township Ordinance No. **2022-08** and guidelines contained in *Evaluating Traffic Impact Studies: A Recommended Practice for Michigan Communities*.

## 1. Traffic Assessment

### 1.1 Trip Generation

The trip generation for the proposed development was based on data contained in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual*, 11<sup>th</sup> Edition. ITE Land Use #948, Automated Car Wash, was found to best represent the site's proposed land use and ITE Land Use #932, High Turnover Sit-Down Restaurant, was found to best represent the site's former land use, the recently closed Outback Steakhouse. There is no A.M. trip generation data available for the car wash land use; however, the site doesn't open until 8:00 A.M., therefore, the car wash would only be operating during a portion of the A.M. peak hour.

## 1.2 Pass-By Trips

It is important to note that surveys conducted by ITE have shown that a portion of trips made to commercial developments are pass-by trips. According to ITE’s Trip Generation Handbook, 3<sup>rd</sup> Ed., a pass-by trip is defined as “an intermediate stop on the way from an origin to a primary destination without a route diversion.” For example, if a motorist was leaving work and stopped at a car wash on their way home, the trip to the car wash would be considered a pass-by trip (not a new trip) since the motorist was already on the road on their way to their primary destination (home). The proposed car wash and the former Outback Steakhouse could both be expected to attract pass-by trips.

According to the guidelines contained in *Evaluating Traffic Impact Studies: A Recommended Practice for Michigan Communities*, the recommended pass-by percentage for a sit-down restaurant (LU 932) is 15%. It should be noted that ITE does not publish pass-by data for all land uses, including automated car washes. However, it’s acknowledged that a car wash would likely generate some percentage of pass-by trips.

The total trips generated by the existing and proposed site land uses are presented in Table 1.1. Pass-by reductions are not included in the comparison table; only the total trips are shown. As can be seen below, the proposed car wash is projected to generate 6 fewer total trips during the PM peak hour and 63 fewer total trips during the Saturday peak hour of generator than the existing land use.

**Table 1.1 Peak Hour Site Trip Generation Comparison**

Land Use Code	PM Peak Hour			SAT Peak Hour of Generator		
	In	Out	Total	In	Out	Total
<b>Proposed Land Use</b>						
LU 948 – Automated Car Wash (1 Tunnel)	39	39	78	19	22	41
<b>Existing Land Use</b>						
LU 932 – High Turnover Sit-Down Restaurant (9,320 SF)	51	33	84	53	51	104
<b>Difference in Total Trips</b>	<b>(12)</b>	<b>6</b>	<b>(6)</b>	<b>(34)</b>	<b>(29)</b>	<b>(63)</b>

## 1.3 Trip Distribution

Based on a review of existing annual average daily traffic (AADT) volumes provided on the Michigan Department of Transportation’s (MDOT) Transportation Data Management System (TDMS), knowledge of the area roadways, and logical traffic patterns, the following trip distribution was developed for the site traffic and is shown in Table 1.2:

**Table 1.1 Direction of Approach**

To/From	PM / Saturday Peak Hours
North (Marsh Road)	40%
South (Marsh Road and Grand River Avenue)	55%
East (Newman Road via Grand River Avenue)	5%
<b>Total</b>	<b>100%</b>

## 1.4 Trip Assignment

The projected P.M. and Saturday total peak hour site trips were assigned to the adjacent street system based on the trip distribution described in Section 1.2. Since pass-by trips were not considered in this analysis, all trips that are assigned are considered *new* trips. As mentioned above, it is acknowledged that there will be a certain percentage of pass-by trips that would utilize the car wash; therefore, the total number of *new* site trips is expected to be lower than that shown in Table 1.1.

The total site trips were assigned as follows:

- All of the site traffic from the north on Marsh Road (40%) will enter/exit the site via the full access site driveway on Marsh Road.
- All of the site traffic from the east on Newman Road (5%) will enter/exit the site via the middle site driveway on Newman Road.
- 90% of the site traffic from the south on Marsh Road and Grand River Avenue (50% of total site traffic) will enter the site via the full access site driveway on Marsh Road and exit the site via the middle site driveway on Newman Road; the remaining site traffic (5%) will enter the site via the full access middle site driveway on Newman Road and exit the site via the full access site driveway on Marsh Road.

The new site trips are presented on Figure 3.

## 1.5 Auxiliary Turn Lane Analysis

An analysis was performed to determine the need for right turn lanes at the proposed site access drives on Marsh Road and Newman Road. The determination of need for right turn lanes was based on guidelines contained in MDOT's *Geometric Design Guidance*. Per MDOT's manual, the National Cooperative Highway Research Program (NCHRP) Report 279, *Intersection Channelization Design Guide*, was used to determine the need for right turn lanes at the site access drives on Marsh and Newman Roads. Note, a determination of need for left turn lanes was not performed at the site access drives since a center two-way left turn lane already exists on both Marsh Road and Newman Road.

### *Right Turn Lane Analysis*

#### **Marsh Road and Site Driveway**

Under build conditions, the northbound projected peak hour right turning traffic volume from Marsh Road into the proposed site driveway is 20 and 9 vehicles during the PM and Saturday peak hours, respectively. Based on the right turn guidelines contained in NCHRP's Report 279, it was determined a right turn lane **would not** be required to serve the site during either peak hour. It should be noted that peak hour traffic volumes on Marsh Road were not available, however, the turning volumes do not trigger a right turn lane regardless of the volumes on Marsh Road.

#### **Newman Road and Middle Site Driveway**

Under build conditions, the westbound projected peak hour right turning traffic volume from Newman Road into the middle site driveway is 2 and 1 vehicles during the PM and Saturday peak hours, respectively. Based on the right turn guidelines contained in NCHRP's Report 279, it was determined a right turn lane **would not** be required to serve the site during either peak hour. It should be noted that peak hour traffic volumes on Newman Road were not available, however, the turning volumes do not trigger a right turn lane regardless of the volumes on Newman Road.

## 2. Conclusions

Based on the results of the traffic assessment, the conclusions are as follows:

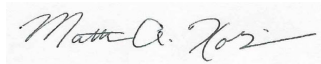
### *Conclusions:*

- Under build conditions, the proposed development is projected to generate 78 total trips during the P.M. peak hour (39 in / 39 out) and 41 total trips during the Saturday peak hour of generator (19 in / 22 out). The proposed development is projected to generate 6 fewer total trips during the PM peak hour and 63 fewer total trips during the Saturday peak hour of generator than the former land use, a recently closed Outback Steakhouse.
- Marsh Road and Site Driveway
  - Based on the right turn lane guidelines for four-lane roadways contained in NCHRP Report 279, a northbound right turn lane **would not** be required on Marsh Road to serve the site.
- Newman Road and Middle Site Driveway
  - Based on the right turn lane guidelines for two-lane roadways contained in NCHRP Report 279, a westbound right turn lane **would not** be required on Newman Road to serve the site.
- The existing site access is adequate to serve the proposed Tidal Wave Car Wash development.

Please do not hesitate to contact me should you have any questions regarding this analysis.

Sincerely,

GHD Services, Inc.



Matthew A. Kolis, P.E., PTOE  
Senior Transportation Engineer

and



Scott J. Adamowski, P.E.  
Vice President  
GHD Engineering, PC



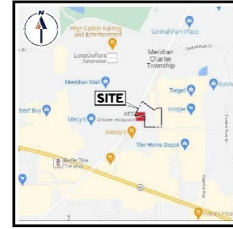
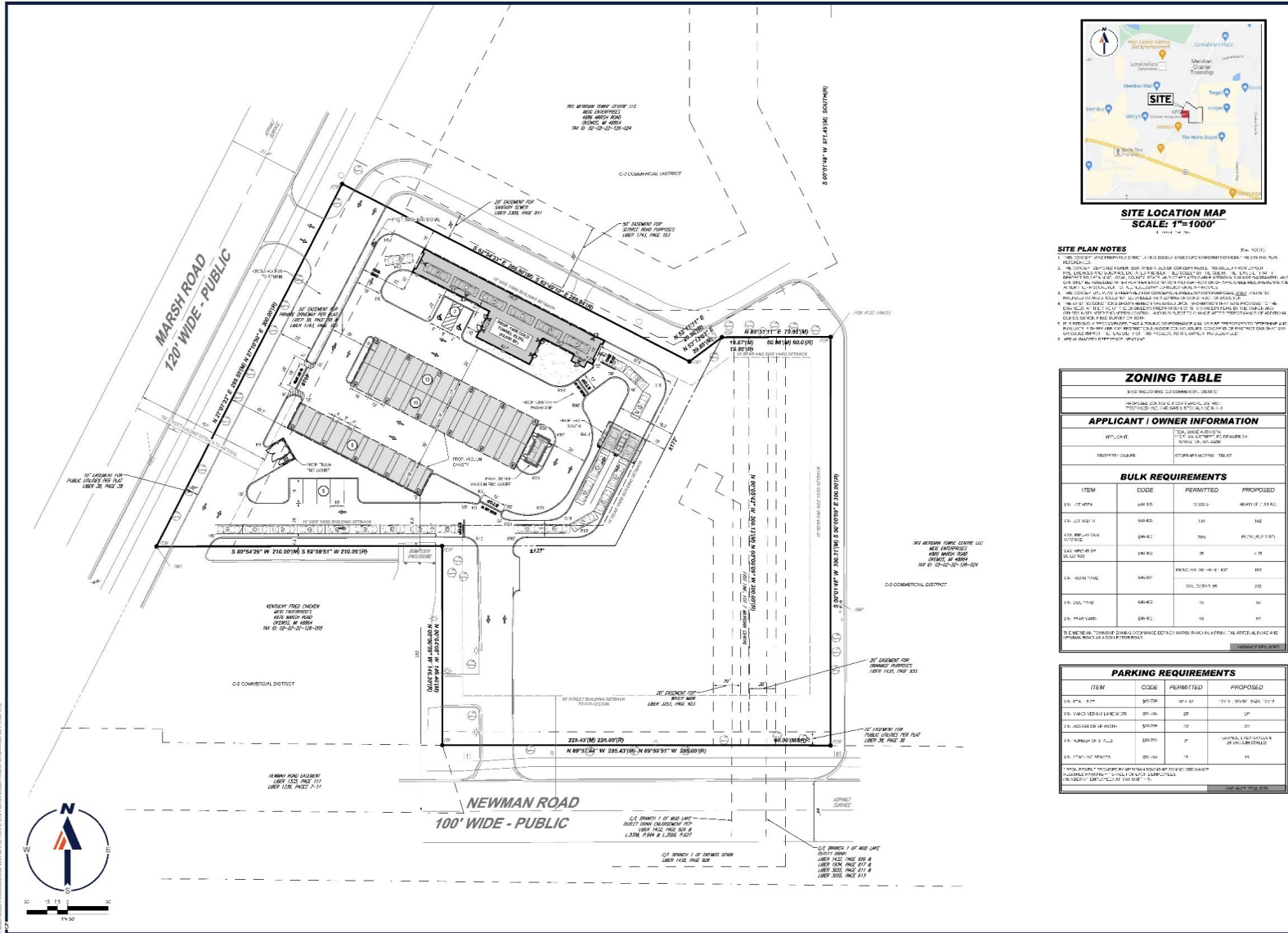
I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Michigan.

Figure 1: Site Location





Figure 2: Site Layout Plan



**SITE PLAN NOTES**

1. THIS DOCUMENT AND ALL INFORMATION HEREON IS TO BE USED ONLY FOR THE PROJECT AND SITE SHOWN HEREON.
2. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND ADJACENT AREAS TO VERIFY THE LOCATION AND EXISTENCE OF THE FEATURES AND CONDITIONS SHOWN ON THIS PLAN. THE DESIGNER HAS NOT CONDUCTED ANY OTHER INVESTIGATIONS OR TESTS TO VERIFY THE LOCATION AND EXISTENCE OF THE FEATURES AND CONDITIONS SHOWN ON THIS PLAN.
3. THE DESIGNER HAS NOT CONDUCTED ANY INVESTIGATIONS OR TESTS TO VERIFY THE LOCATION AND EXISTENCE OF THE FEATURES AND CONDITIONS SHOWN ON THIS PLAN.
4. THE DESIGNER HAS NOT CONDUCTED ANY INVESTIGATIONS OR TESTS TO VERIFY THE LOCATION AND EXISTENCE OF THE FEATURES AND CONDITIONS SHOWN ON THIS PLAN.
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9. THE DESIGNER HAS NOT CONDUCTED ANY INVESTIGATIONS OR TESTS TO VERIFY THE LOCATION AND EXISTENCE OF THE FEATURES AND CONDITIONS SHOWN ON THIS PLAN.
10. THE DESIGNER HAS NOT CONDUCTED ANY INVESTIGATIONS OR TESTS TO VERIFY THE LOCATION AND EXISTENCE OF THE FEATURES AND CONDITIONS SHOWN ON THIS PLAN.

ZONING TABLE			
R10 RESIDENTIAL SINGLE-FAMILY DISTRICT			
ITEM	CODE	PERMITTED	PROPOSED
01. LOT AREA	600-65	12,000-24	10,411 (C-1) (A)
02. LOT FRONT SETBACK	600-65	10'	10'
03. SIDE/REAR YARD SETBACK	600-65	75'	60' (S-1) (B)
04. MAXIMUM GROUND COVER	600-65	30%	30%
05. MAXIMUM HEIGHT	600-65	35'	35'
06. MAXIMUM NUMBER OF UNITS	600-65	1	1
07. MAXIMUM NUMBER OF STORIES	600-65	2	2
08. MAXIMUM NUMBER OF PARKING SPACES	600-65	15	15
09. MAXIMUM NUMBER OF DRIVEWAYS	600-65	15	15

APPLICANT / OWNER INFORMATION			
APPLICANT	TIDAL WAVE AUTO CARE		
PROJECT NAME	PROPOSED CAR WASH		

BULK REQUIREMENTS			
ITEM	CODE	PERMITTED	PROPOSED
01. LOT AREA	600-65	12,000-24	10,411 (C-1) (A)
02. LOT FRONT SETBACK	600-65	10'	10'
03. SIDE/REAR YARD SETBACK	600-65	75'	60' (S-1) (B)
04. MAXIMUM GROUND COVER	600-65	30%	30%
05. MAXIMUM HEIGHT	600-65	35'	35'
06. MAXIMUM NUMBER OF UNITS	600-65	1	1
07. MAXIMUM NUMBER OF STORIES	600-65	2	2
08. MAXIMUM NUMBER OF PARKING SPACES	600-65	15	15
09. MAXIMUM NUMBER OF DRIVEWAYS	600-65	15	15

PARKING REQUIREMENTS			
ITEM	CODE	PERMITTED	PROPOSED
01. TOTAL # OF SPACES	600-65	15	15
02. SIDE/REAR YARD SETBACK	600-65	25'	25'
03. SIDE/REAR YARD WIDTH	600-65	10'	10'
04. NUMBER OF SPACES	600-65	15	15
05. MAXIMUM NUMBER OF DRIVEWAYS	600-65	15	15

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROFESSIONAL ENGINEERING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
PLANNING SERVICES  
TRAVEL SERVICES

---

**REVISIONS**

REV	DATE	COMMENT	BY	CHKD
1	10/20/22	COMPLETION	CS	CS

---

**811**  
Call before you dig  
800-487-4811  
www.811.org

---

**NOT APPROVED FOR CONSTRUCTION**

PROPOSED PROJECT: PROPOSED CAR WASH  
DRAWN BY: CS  
CHECKED BY: CS  
DATE: 10/20/22

---

**PRELIMINARY / FINAL LAND DEVELOPMENT PLANS**

**TIDAL WAVE**  
AUTO CARE

PROPOSED CAR WASH  
SITE #11  
4828 MARSH ROAD  
MERCER TOWNSHIP  
WYOMING COUNTY, PENNSYLVANIA  
PARCEL # 33-02-02-22-126-012

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**BOHLER**  
1 ALLEGHENY SQUARE, SUITE 402  
PITTSBURGH, PA 15212  
Phone: 412.636.8500  
www.BohlerEngineering.com

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**M.E. JEITNER**  
PROFESSIONAL ENGINEER  
1000 MARKET STREET, SUITE 200  
PITTSBURGH, PA 15222  
Phone: 412.636.8500

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**SITE PLAN**

SHEET TITLE:  
**C-301**

REVISION 1 - 12/16/2022

Figure 3: New Site Trips

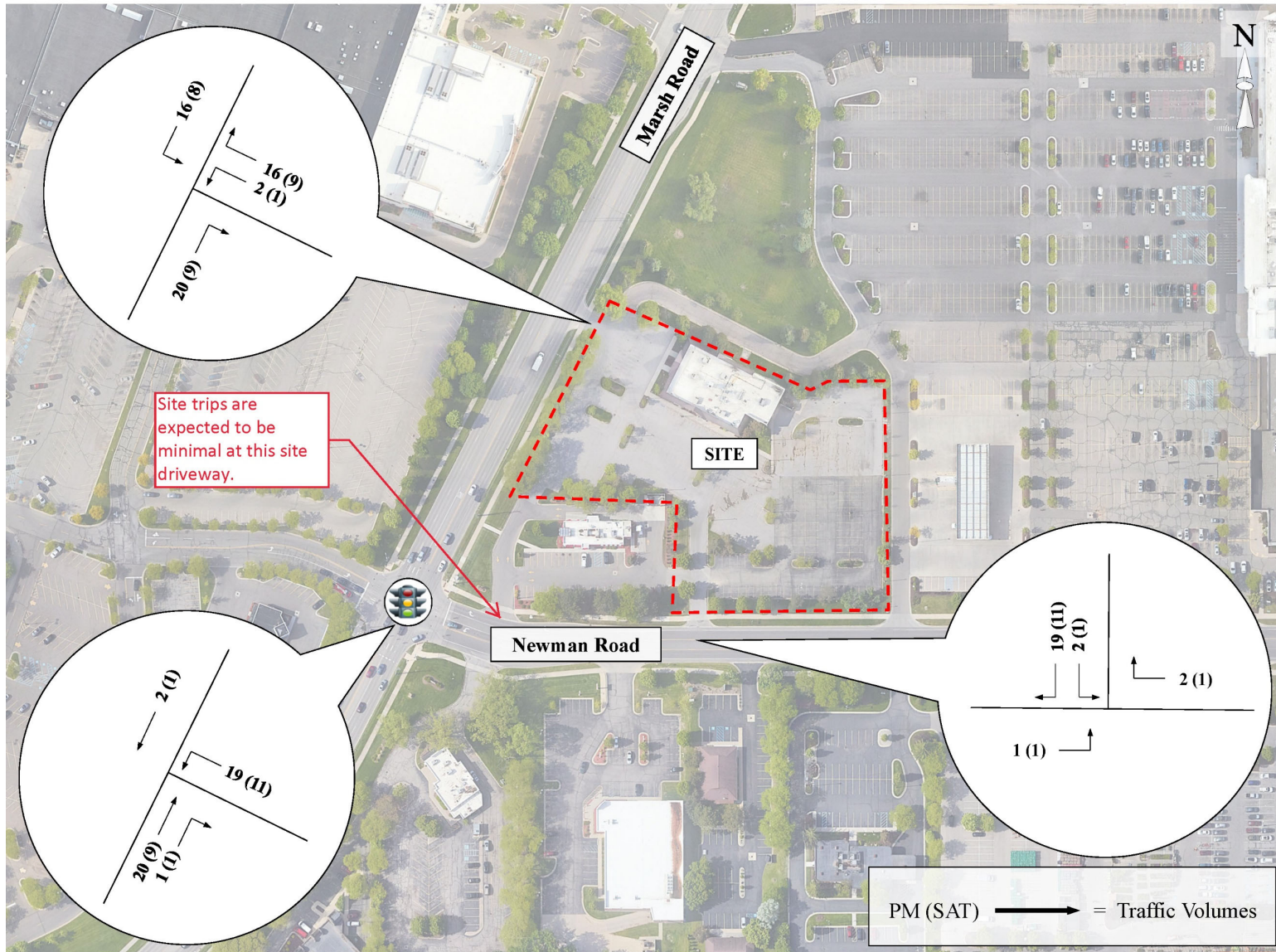
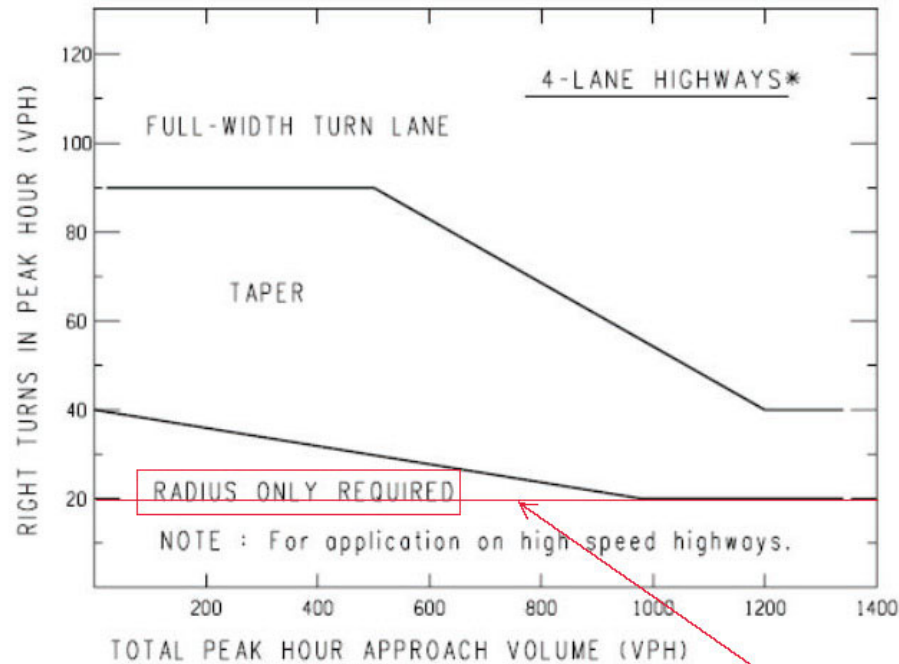


Figure 4: Auxiliary Right Turn Lane Warrant: Marsh Road at Site Drive

NCHRP Report #279, Intersection Channelization Design Guide



\*If a center left-turn lane exists (ie 3 or 5 lane roadway), subtract the number of left turns in approach volume from the total approach volume to get an adjusted total approach volume.

Marsh Road and Site Drive  
Speed Limit: 40 mph

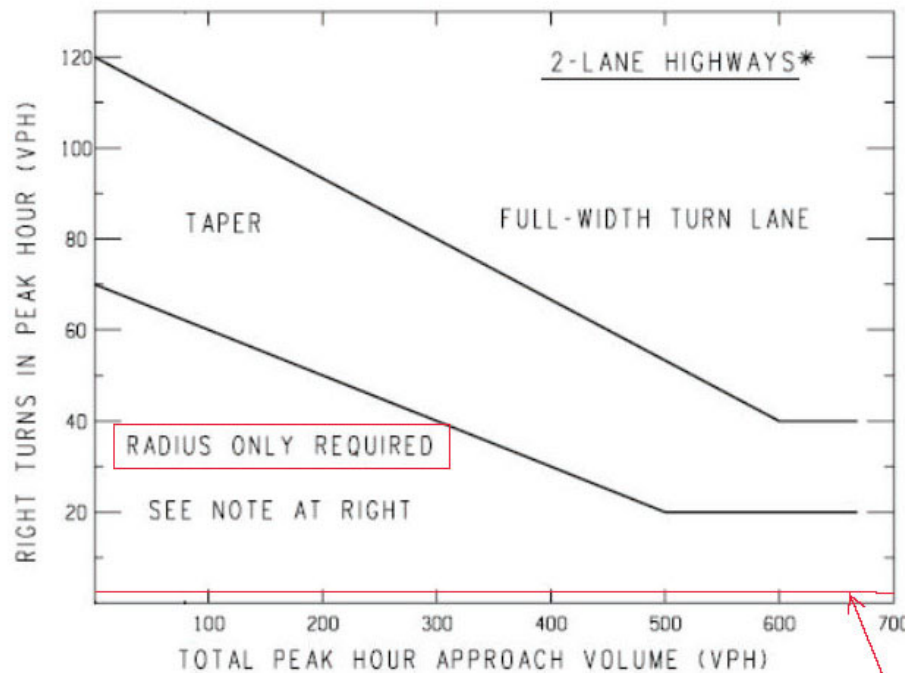
**PM Peak Hour**  
Approach Volume: N/A  
NB Right Turns: 20 vehicles  
Warranted? No

**SAT Peak Hour of Generator**  
Approach Volume: N/A  
NB Right Turns: 9 vehicles  
Warranted? No



Figure 5: Auxiliary Right Turn Lane Warrant: Newman Road at Middle Site Drive

NCHRP Report #279, Intersection Channelization Design Guide



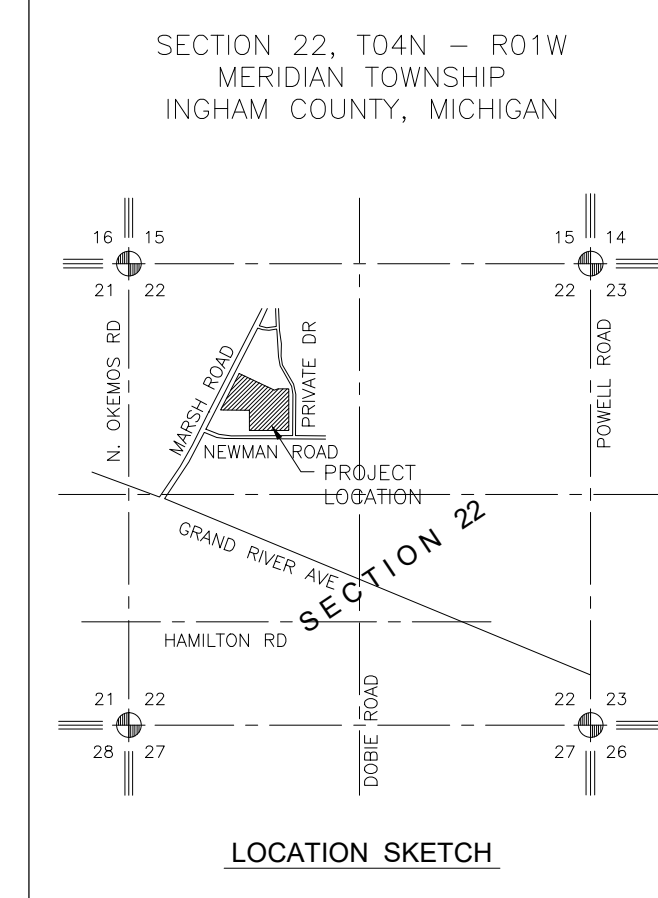
NOTE: For posted speeds at or under 45 mph, peak hour right turns greater than 40 vph, and total peak hour approach less than 300 vph, adjust right turn volumes.

Adjust peak hour  
Right turns = Peak hour  
Right turns - 20

Newman Road and Middle Site Drive  
Speed Limit: 35 mph

**PM Peak Hour**  
Approach Volume: N/A  
WB Right Turns: 2 vehicles  
Warranted? No

**SAT Peak Hour of Generator**  
Approach Volume: N/A  
WB Right Turns: 1 vehicles  
Warranted? No



**GPS**  
**GOWER PROFESSIONAL SURVEYING, P.C.**

1744 Childsdale Ave, NE  
 Rockford, MI 49341  
 (616) 863-9508 Voice  
 gowerpro@comcast.net

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 By: Gower Professional Surveying, P.C.

**BOHLER ENGINEERING NY PLLC**  
 2929 EXPRESSWAY DR., N, SUITE 120  
 HAUPPAUGE, NY 11749  
 631-738-1200  
 www.BohlerEngineering.com

**ALTANSPS LAND TITLE SURVEY**  
**TIDAL WAVE AUTO SPA**  
**SECTION 22, T04N, R01W**  
**MERIDIAN TOWNSHIP**  
**INGHAM COUNTY, MICHIGAN**

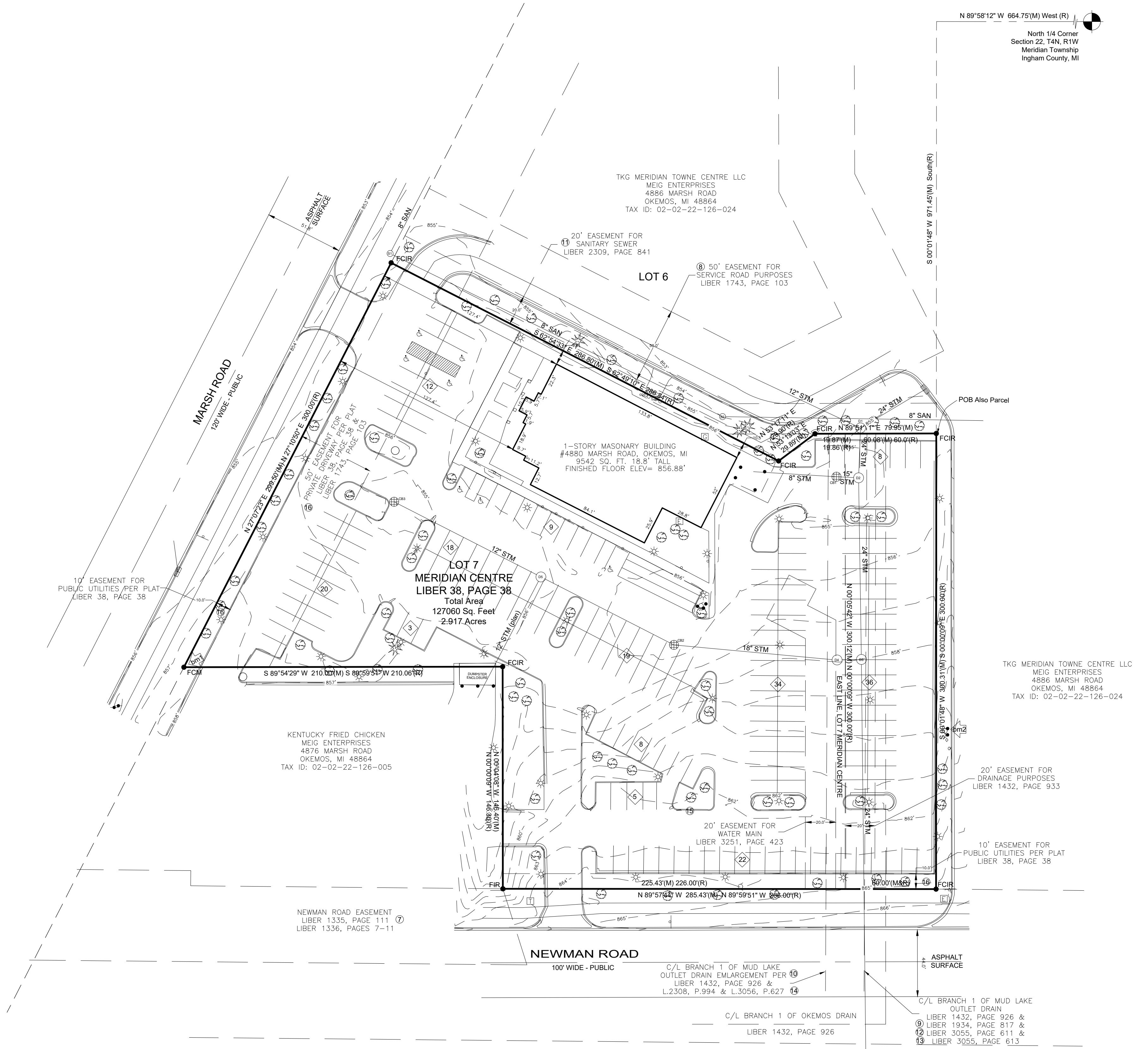
**Issue Log**

Rev	Date	Description
4	Rev 4	
3	Rev 3	
2	Rev 2	
1	Rev 1	

Field: 10/19/2022  
 Drawn: 10/26/2022  
 Checked: 10/27/2022  
 Approved: 10/27/2022

PROJECT NUMBER  
**2022-12-8**

REFERENCE NUMBER  
**1**



**PROPERTY DESCRIPTION:**

Lot 7, Meridian Centre, Meridian Township, Ingham County, Michigan, according to the plat thereof recorded in Liber 38 of Plats, page 38, Ingham County Records.  
 Also:  
 A parcel of land described as Commencing at the North 1/4 corner of Section 22, Town 4 North, Range 1 West, Meridian Township, Ingham County, Michigan, thence due West 644.75 feet, thence due South 971.45 feet to the Point of Beginning of this parcel, thence South 00 degrees 00 minutes 09 seconds East 300.00 feet, thence South 89 degrees 59 minutes 51 seconds West 60.00 feet, thence North 00 degrees 00 minutes 09 seconds West 300.00 feet, thence North 89 degrees 59 minutes 51 seconds East 60.00 feet to the Point of Beginning.

To Tidal Wave Auto Spa and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a)(1)(c), 8, 9, 11 (to the extent of observed evidence), 13, 16, 17, 18 and 19 of Table A thereof. The fieldwork was completed on September 22, 2022.

Date of Plat or Map: October 4, 2022

Christopher J. Gower, P.S. MI4001047951



**SCHEDULE B-II EXCEPTIONS (those unique to this Property)**

- 8. Easement description corresponding to Schedule B-II Exceptions.
- First American Title Insurance Company Commitment No.: 3020-110776  
 Commitment Date: September 19, 2022 at 8:00 AM
- 7. The terms, provisions and easement(s) contained in the document entitled "Highway Easement Release" recorded as Liber 1335, Page 111 of Official Records. Affects, plotted as shown.
- 8. The terms, provisions and easement(s) contained in the document entitled "Grant of Easement" recorded as Liber 1743, Page 1126 of Official Records. Affects, plotted as shown.
- 9. The terms and provisions contained in the document entitled "Agreement" recorded as Liber 1934, Page 817 of Official Records. Affects, Plotted as shown.
- 10. The terms and provisions contained in the document entitled "Agreement" recorded as Liber 2308, Page 994 of Official Records. Affects, plotted as shown.
- 11. The terms, provisions and easement(s) contained in the document entitled "Grant of Easement" recorded as Liber 2309, Page 841 of Official Records. Affects, plotted as shown.
- 12. The terms, provisions and easement(s) contained in the document entitled "Application for Laying Out and Enlarging a County Drainage District pursuant to Section 425 of Act 40, Public Acts of Michigan, 1966, as amended" recorded as Liber 3055, Page 611 of Official Records. Affects, blank in nature.
- 13. The terms, provisions and easement(s) contained in the document entitled "Order Laying Out and Designating a Drainage District" recorded as Liber 3055, Page 613 of Official Records. Affects, plotted as shown.
- 14. The terms, provisions and easement(s) contained in the document entitled "Dedication Deed and Agreement" recorded as Liber 3056, Page 627 of Official Records. Affects, plotted as shown.
- 15. The terms, provisions and easement(s) contained in the document entitled "Grant of Easement" recorded January 18, 2007 as Liber 3251, Page 423 of Official Records. Affects, plotted as shown.
- 16. Easement(s) as disclosed by the recorded plat. Affects, plotted as shown.

**Storm Sewer Structure Inventory**

#1060	D1	Rim= 854.94'
		24" South IE = 844.66'
		12" NW IE = 845.54'
		24" NE IE = 844.82'
#1062	D2	Rim= 854.37
		24" North IE = Could not open
		24" South IE = Could not open
		15" West IE = Could not open
#1074	D3	Rim= 858.01'
		24" North IE = 847.40'
		24" South IE = 847.39'
		18" West IE = 847.41'
#1073	D4	Rim= 857.92'
		18" East IE = 847.50'
		18" West IE = 847.95'
#1061	CB1	Rim= 854.28'
		15" East IE = 846.08'
		8" West IE = 851.05'
#1075	CB2	Rim= 855.32'
		18" East IE = 848.37'
		18" NW IE = 849.07'
#1196	CB3	Rim= 854.42'
		12" East IE = 850.77'
		D5 per plan - could not find.

**Sanitary Sewer Structure Inventory**

#1105	S1	Rim= 854.00'
		8" North IE = 845.03'
		8" SE IE = 845.17'
		S2 Rims= 853.93'
		8" NW IE = 846.12'
		8" East IE = 846.23'
#1097		

**BEARING BASIS:**  
 The Basis of Bearing for this survey is Grid North per Michigan State Plane Coordinate System, South Zone, NAD-83-2011, as measured along the West line of subject property which bears a direction of N27°07'23"E per GPS observations.

**BENCHMARKS**  
 BM #1 - Top iron rod in concrete plat monument at Southwest corner subject property. Elevation = 857.50'  
 BM #2 - Top West bolt, bottom flange fire hydrant along East property line near driveway. Elevation = 862.33'  
 Datum - NAVD88 Geoid 12b via GPS observation

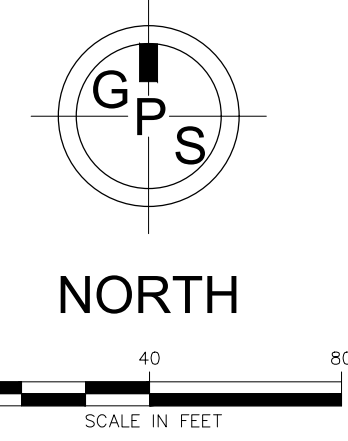
**FLOOD NOTE:**  
 By graphic plotting only, this property is in ZONE X, areas of minimal Flood Hazard of the FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 26165C0156D, which bears an effective date of August 16, 2011 AND IS NOT in a SPECIAL FLOOD HAZARD AREA.

**NOTES:**  
 PROPERTY ADDRESS:  
 PARCEL 1: 4880 Marsh Road  
 Okemos, MI 48864  
 TAX ID No.: 02-02-22-126-012  
 A Zoning report or letter was not supplied to the surveyor, therefore zoning requirements have not been included on this survey.

At the time of the survey, there is no evidence of recent earth moving, building construction or building additions on the site.

At the time of the survey there was no evidence of recent street or sidewalk construction or repairs. No information was supplied to the surveyor regarding proposed changes in street right of way lines.

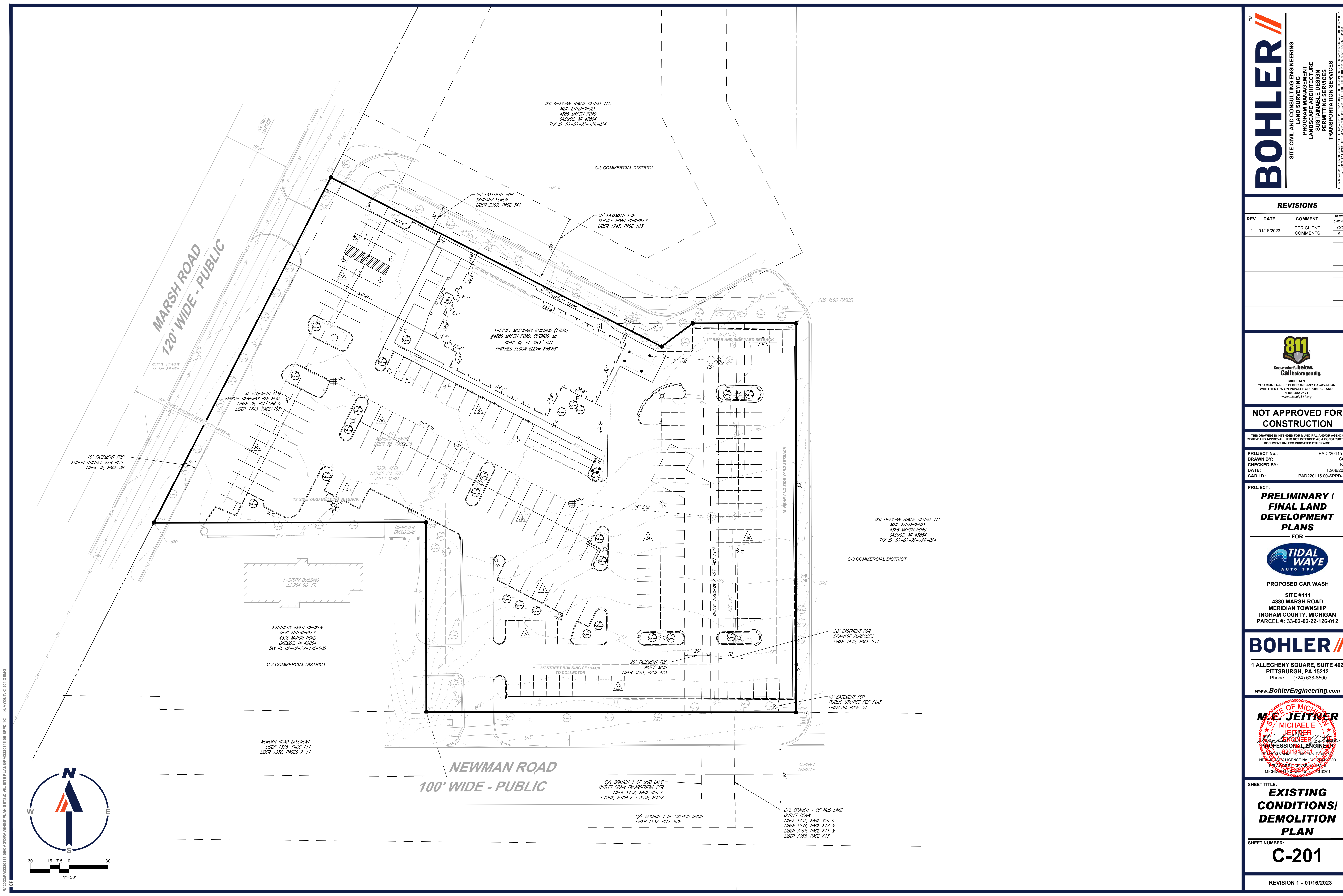
**SURVEYOR'S NOTE:**  
 This survey has been prepared for the exclusive use of the person or entities named herein. No express or implied warranties with respect to the information shown herein is to be extended to any persons or entities other than those shown herein.  
 ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.



**LEGEND**

- PARKING SPACES
- WELL
- HIGHWAY
- MONUMENT
- FOUND IRON STAKE
- SET IRON STAKE
- SIGN
- RR SIGN
- GUY POLE
- GUY ANCHOR
- UTILITY POLE
- LIGHT POLE
- POST
- SOIL BORING
- U.G. UTILITY MARKER
- MAILBOX
- FIRE HYDRANT
- WATER VALVE
- GAS METER
- WATER METER
- TELEPHONE RISER
- ELECTRIC METER
- CATCH BASIN
- ROUND CATCH BASIN
- UTILITY MANHOLE
- STORM MANHOLE
- SANITARY MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- SHRUB
- DECIDUOUS TREE
- CONIFEROUS TREE
- WATER UTILITY LINE
- TELEPHONE UTILITY LINE
- ELECTRIC UTILITY LINE
- GAS UTILITY LINE
- STEAM UTILITY LINE
- STORM UTILITY LINE
- SANITARY UTILITY LINE
- FIBER OPTIC UTILITY LINE
- OVERHEAD UTILITY LINE





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**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	01/16/2023	PER CLIENT COMMENTS	CCP	KJB

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PROJECT No.: PAD220115.00  
 DRAWN BY: CCP  
 CHECKED BY: KJB  
 DATE: 12/08/2022  
 CAD ID: PAD220115.00-SPPD-1C

PROJECT:  
**PRELIMINARY / FINAL LAND DEVELOPMENT PLANS**  
 FOR

**TIDAL WAVE**  
 AUTO SPA  
 PROPOSED CAR WASH  
 SITE #111  
 4880 MARSH ROAD  
 MERIDIAN TOWNSHIP  
 INGHAM COUNTY, MICHIGAN  
 PARCEL #: 33-02-22-126-012

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 PITTSBURGH, PA 15212  
 Phone: (724) 638-8500  
 www.BohlerEngineering.com

STATE OF MICHIGAN  
**M.E. JEITNER**  
 MICHAEL E. JEITNER  
 REGISTERED PROFESSIONAL ENGINEER  
 2011310201  
 NEW YORK LICENSE No. 24602-00000  
 MICHIGAN LICENSE No. 110201

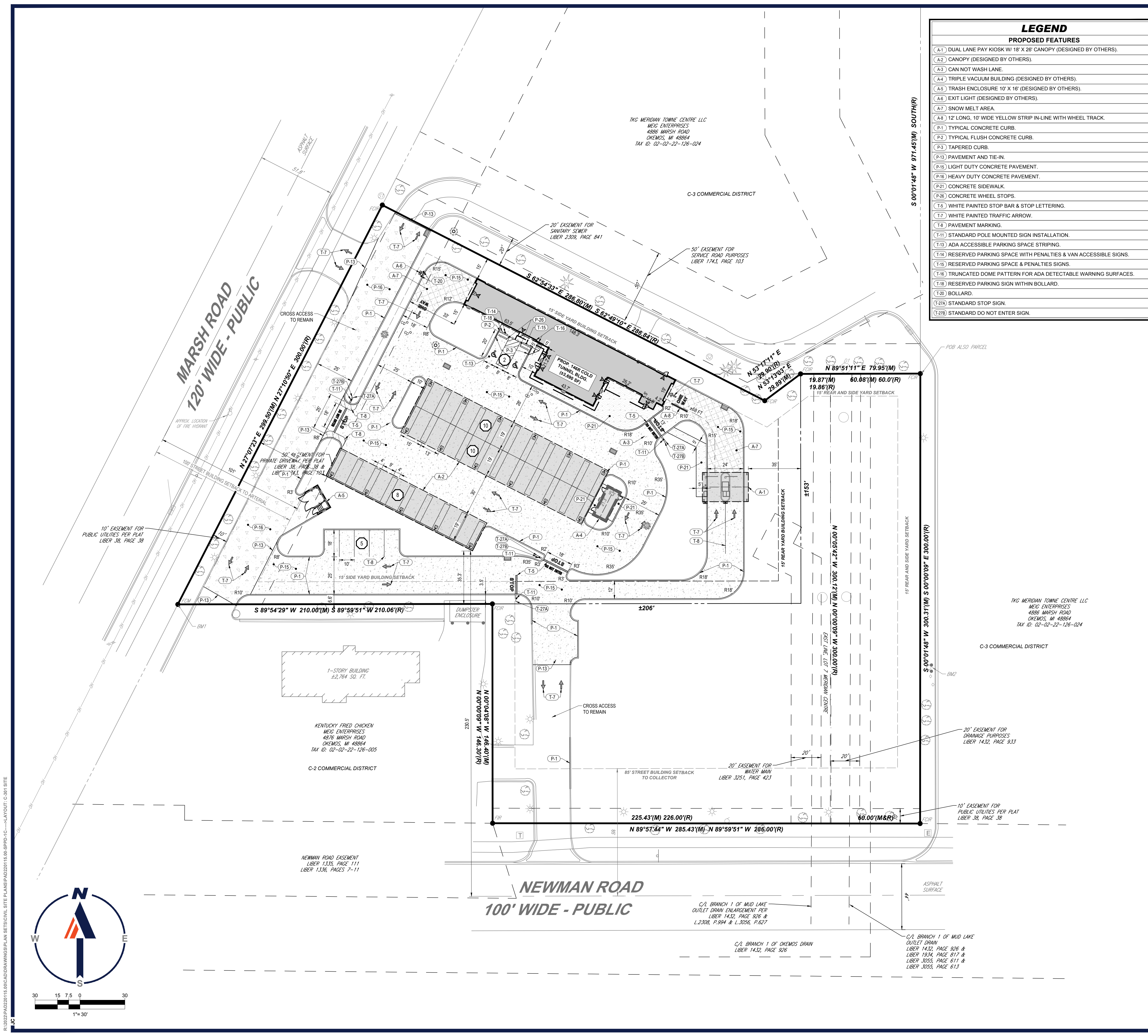
SHEET TITLE:  
**EXISTING CONDITIONS/ DEMOLITION PLAN**

SHEET NUMBER:  
**C-201**

REVISION 1 - 01/16/2023

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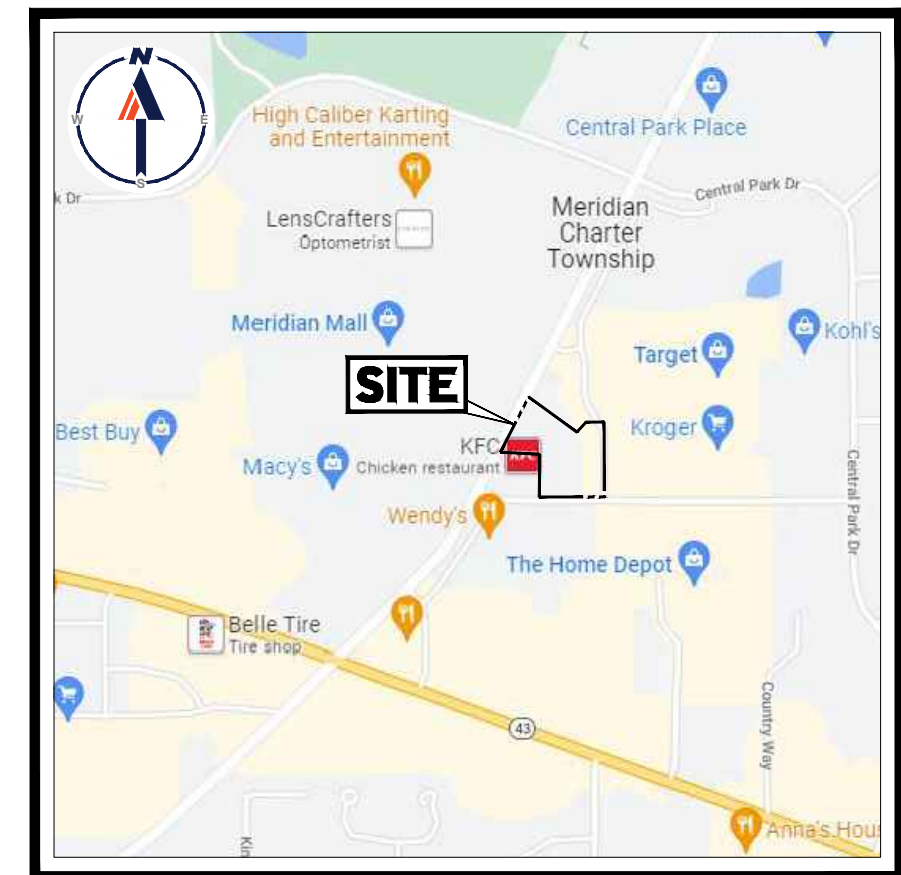




### LEGEND

#### PROPOSED FEATURES

- (A.1) DUAL LANE PAY KIOSK W/ 18' X 26' CANOPY (DESIGNED BY OTHERS).
- (A.2) CANOPY (DESIGNED BY OTHERS).
- (A.3) CAN NOT WASH LANE.
- (A.4) TRIPLE VACUUM BUILDING (DESIGNED BY OTHERS).
- (A.5) TRASH ENCLOSURE 10' X 16' (DESIGNED BY OTHERS).
- (A.6) EXIT LIGHT (DESIGNED BY OTHERS).
- (A.7) SNOW MELT AREA.
- (A.8) 12' LONG, 10' WIDE YELLOW STRIP IN-LINE WITH WHEEL TRACK.
- (P.1) TYPICAL CONCRETE CURB.
- (P.2) TYPICAL FLUSH CONCRETE CURB.
- (P.3) TAPERED CURB.
- (P.15) PAVEMENT AND TIE-IN.
- (P.15) LIGHT DUTY CONCRETE PAVEMENT.
- (P.16) HEAVY DUTY CONCRETE PAVEMENT.
- (P.21) CONCRETE SIDEWALK.
- (P.26) CONCRETE WHEEL STOPS.
- (T.4) WHITE PAINTED STOP BAR & STOP LETTERING.
- (T.7) WHITE PAINTED TRAFFIC ARROW.
- (T.8) PAVEMENT MARKING.
- (T.11) STANDARD POLE MOUNTED SIGN INSTALLATION.
- (T.13) ADA ACCESSIBLE PARKING SPACE STRIPING.
- (T.14) RESERVED PARKING SPACE WITH PENALTIES & VAN ACCESSIBLE SIGNS.
- (T.15) RESERVED PARKING SPACE & PENALTIES SIGNS.
- (T.16) TRUNCATED DOME PATTERN FOR ADA DETECTABLE WARNING SURFACES.
- (T.18) RESERVED PARKING SIGN WITH BOLLARD.
- (T.20) BOLLARD.
- (T.27A) STANDARD STOP SIGN.
- (T.27B) STANDARD DO NOT ENTER SIGN.



**SITE LOCATION MAP**  
SCALE: 1"=1000'  
REF: GOOGLE MAPS 2022

- #### SITE PLAN NOTES
- THIS CONCEPT WAS PREPARED STRICTLY AND SOLELY BASED UPON INFORMATION IDENTIFIED IN THE PLAN REFERENCES. (Rev. 1/2020)
  - THE CONCEPT DEPICTED HEREIN IDENTIFIES A DESIGN CONCEPT RESULTING SOLELY FROM LAYOUT PREFERENCES AND GUIDANCE DICTATED AND IDENTIFIED SOLELY BY THE CLIENT. THE FEASIBILITY WITH RESPECT TO OBTAINING LOCAL, COUNTY, STATE, AND OTHER APPLICABLE APPROVALS IS NOT WARRANTED, AND CAN ONLY BE ASSESSED AFTER FURTHER EXAMINATION AND VERIFICATION OF APPLICABLE REQUIREMENTS AND AFTER THE PROCUREMENT OF ALL NECESSARY JURISDICTIONAL APPROVALS.
  - THIS CONCEPTUAL PLAN IS PREPARED FOR CONCEPTUAL PRESENTATION PURPOSES ONLY, AND IS NOT INTENDED TO AND SHOULD NOT BE UTILIZED AS A ZONING OR CONSTRUCTION DOCUMENT.
  - THE EXISTING CONDITIONS SHOWN HEREON ARE BASED UPON INFORMATION THAT WAS PROVIDED TO THE ENGINEER, AT THE TIME OF THE ENGINEER'S PREPARATION OF THIS CONCEPT PLAN, BY THE OWNER AND OTHERS NOT UNDER ENGINEER'S CONTROL, AND IS SUBJECT TO CHANGE AFTER PERFORMANCE OF ADDITIONAL DUE DILIGENCE, FIELD SURVEY OR BOTH.
  - IT IS STRONGLY RECOMMENDED THAT A ZONING CONFORMANCE ANALYSIS BE PERFORMED TO DETERMINE AND EVALUATE IF THERE ARE ANY RESTRICTIONS AND/OR ZONING ISSUES, CONCERNS OR RESTRICTIONS THAT MAY OR COULD IMPACT THE FEASIBILITY OF THIS PROJECT, AS THE OWNER HAS DESCRIBED IT.
  - AERIAL IMAGERY REFERENCE: NEARMAP

### ZONING TABLE

EXISTING ZONING: C-3 COMMERCIAL DISTRICT  
PROPOSED ZONING: C-3 COMMERCIAL DISTRICT  
PROPOSED USE: CAR WASH; SPECIAL USE IN C-3

#### APPLICANT / OWNER INFORMATION

APPLICANT: TIDAL WAVE AUTO SPA  
115 E. MAIN STREET, PO DRAWER 311  
THOMASTON, GA 30289

PROPERTY OWNER: STOEBER MORRIS L TRUST

#### BULK REQUIREMENTS

ITEM	CODE	PERMITTED	PROPOSED
MIN. LOT AREA	\$86-405	10,000 SF	72,936 SF (1.67 AC)
MIN. LOT WIDTH	\$86-405	100'	152'
MAX. IMPERVIOUS SURFACE	\$86-402	70%	69.7% (60,832 SF)
MAX. HEIGHT OF BUILDINGS	\$86-402	35'	< 35'
MIN. FRONT YARD	\$86-367	PRINCIPAL ARTERIAL: 100' COLLECTOR: 85'	101' 230.5'
MIN. SIDE YARD	\$86-402	15'	15'
MIN. REAR YARD	\$86-402	15'	35'

THE MERIDIAN TOWNSHIP ZONING ORDINANCE DEFINES MARSH ROAD AS A PRINCIPAL ARTERIAL ROAD AND NEWMAN ROAD AS A COLLECTOR ROAD.

VARIANCE REQUIRED

#### PARKING REQUIREMENTS

ITEM	CODE	PERMITTED	PROPOSED
MIN. STALL SIZE	\$86-756	10' X 18'	13'x19', 15'x19', 8'x20', 10'x18'
MIN. MANEUVERING LANE WIDTH	\$86-756	25'	25'
MIN. ACCESS DRIVE WIDTH	\$86-756	25'	25'
MIN. NUMBER OF STALLS	\$86-755	3*	35 (INCL. 2 ADA STALLS & 28 VACUUM STALLS)
MIN. STACKING SPACES	\$86-755	15	20

\* REQUIREMENT PROVIDED BY MERIDIAN TOWNSHIP ZONING ORDINANCE.  
REQUIRED PARKING = 1 SPACE FOR EACH 2 EMPLOYEES  
(NUMBER OF EMPLOYEES AT MAX SHIFT = 5)

VARIANCE REQUIRED

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#### REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	01/16/2023	PER CLIENT COMMENTS	CCP	KJB

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PROJECT No.:	PAD220115.00
DRAWN BY:	CCP
DATE:	12/08/2022
CAD ID:	PAD220115.00-SPPD-1C

**PRELIMINARY / FINAL LAND DEVELOPMENT PLANS**  
FOR



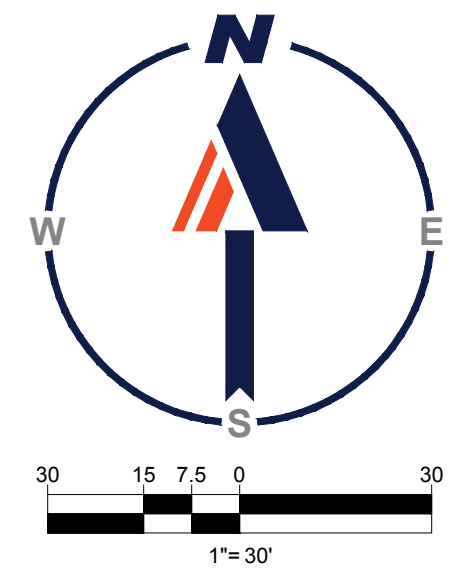
PROPOSED CAR WASH  
SITE #111  
4880 MARSH ROAD  
MERIDIAN TOWNSHIP  
INGHAM COUNTY, MICHIGAN  
PARCEL #: 33-02-02-22-126-012

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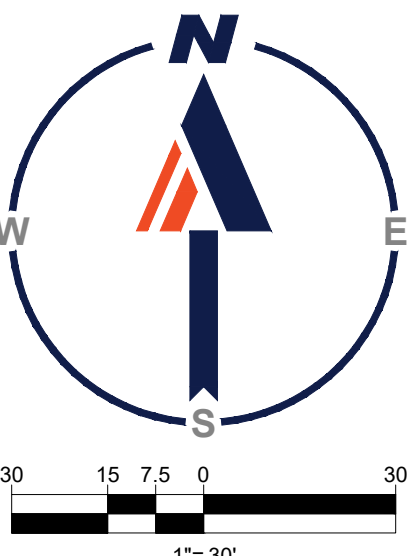
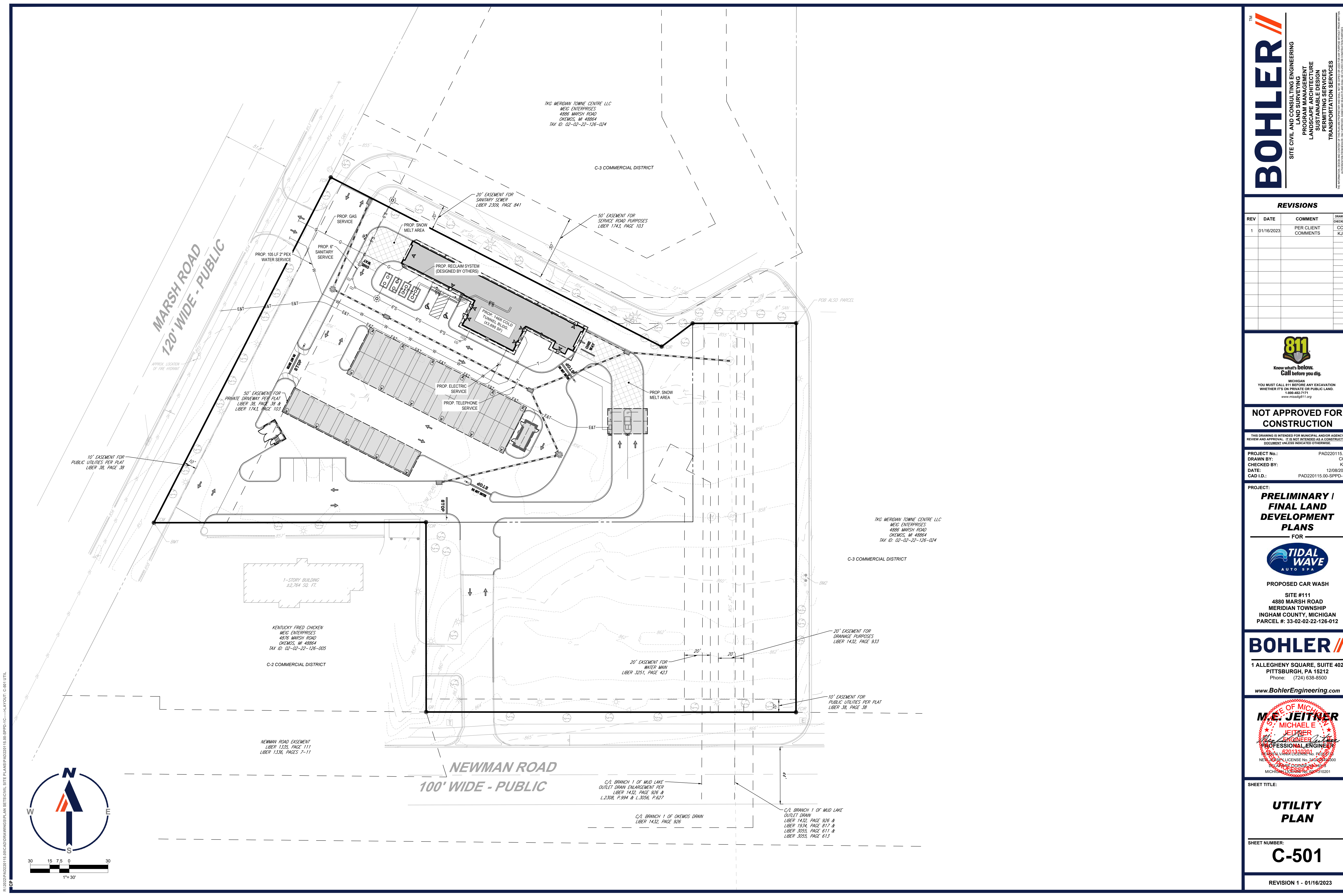
**Michael E. Jeitner**  
PROFESSIONAL ENGINEER  
No. 24602  
MICHIGAN LICENSE No. 24602-0000  
MICHIGAN LICENSE No. 24602-0000

SHEET TITLE:  
**SITE PLAN**  
SHEET NUMBER:  
**C-301**  
REVISION 1 - 01/16/2023

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TKG MERIDIAN TOWNE CENTRE LLC  
 MEC ENTERPRISES  
 4886 MARSH ROAD  
 OKEMOS, MI 48864  
 TAX ID: 02-02-22-126-024

TKG MERIDIAN TOWNE CENTRE LLC  
 MEC ENTERPRISES  
 4886 MARSH ROAD  
 OKEMOS, MI 48864  
 TAX ID: 02-02-22-126-024

KENTUCKY FRIED CHICKEN  
 MEC ENTERPRISES  
 4878 MARSH ROAD  
 OKEMOS, MI 48864  
 TAX ID: 02-02-22-126-005

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 DRAWN BY: CCP  
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 CAD I.D.: PAD220115.00-SPPD-1C

PROJECT:  
**PRELIMINARY / FINAL LAND DEVELOPMENT PLANS**  
 FOR

**TIDAL WAVE**  
 AUTO SPA  
 PROPOSED CAR WASH  
 SITE #11  
 4880 MARSH ROAD  
 MERIDIAN TOWNSHIP  
 INGHAM COUNTY, MICHIGAN  
 PARCEL #: 33-02-02-22-126-012

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STATE OF MICHIGAN  
**M.E. JEITNER**  
 MICHAEL E. JEITNER  
 PROFESSIONAL ENGINEER  
 02011310201  
 LICENSE No. 24602  
 MICHIGAN LICENSE No. 02011310201

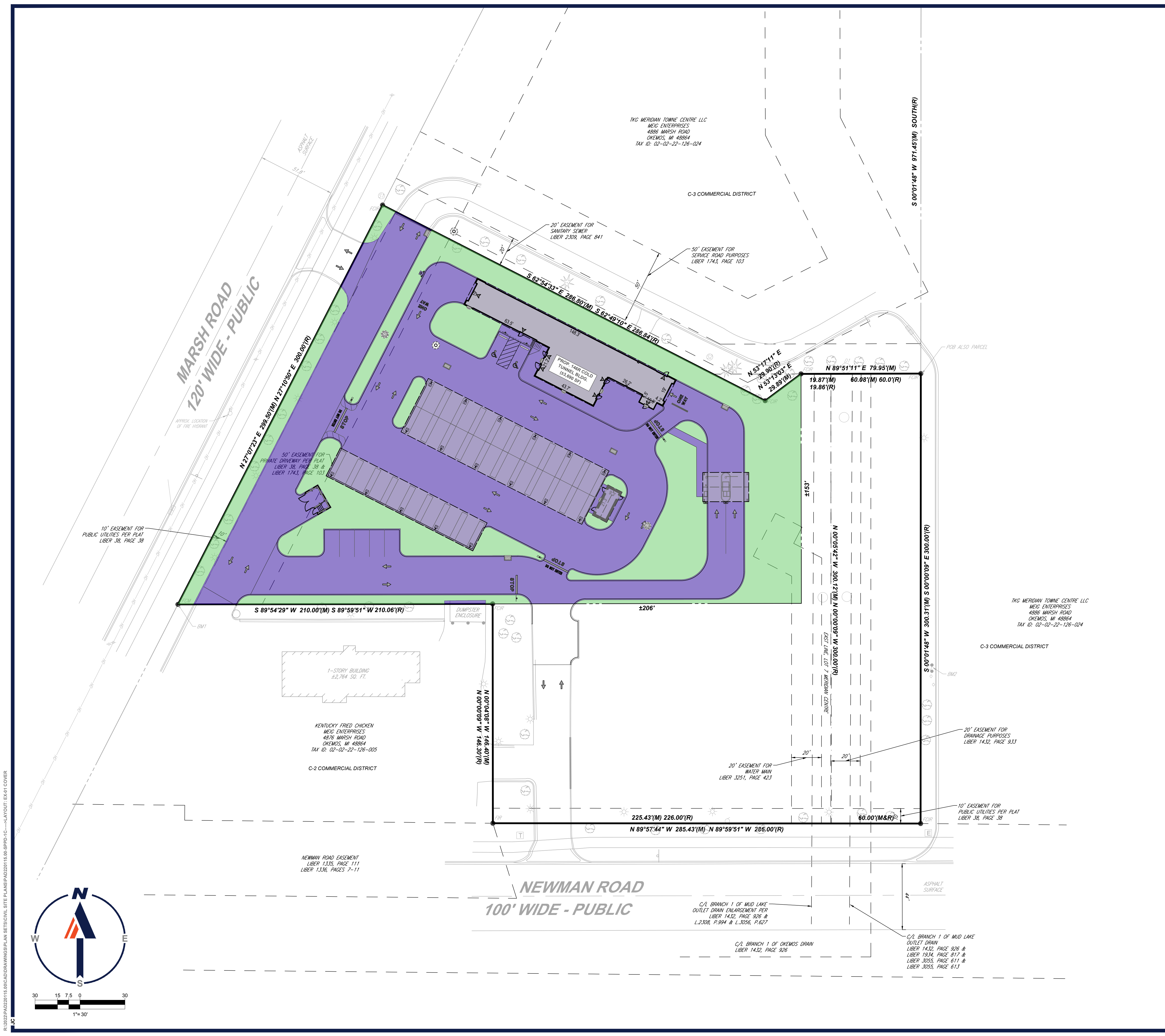
SHEET TITLE:  
**UTILITY PLAN**

SHEET NUMBER:  
**C-501**

REVISION 1 - 01/16/2023

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 FOR

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 AUTO SPA  
 PROPOSED CAR WASH  
 SITE #111  
 4800 MARSH ROAD  
 MERIDIAN TOWNSHIP  
 INGHAM COUNTY, MICHIGAN  
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STATE OF MICHIGAN  
**MICHAEL E. JEITNER**  
 REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 24602  
 EXPIRES 12/31/2024  
 MICHIGAN LICENSE NO. 24602-0000012021

SHEET TITLE:  
**SURFACE COVERAGE PLAN**

SHEET NUMBER:  
**EX-01**

REVISION 1 - 01/16/2023

**HATCH LEGEND**

AREA	HATCH	DESCRIPTION
21886.55 sf		PERVIOUS AREA
50831.91 sf		IMPERVIOUS AREA



# TIDAL WAVE

## AUTO SPA

SITE #115  
 PARCEL: 33-02-02-22-126-012  
 4880 MARSH ROAD  
 MERIDIAN TOWNSHIP  
 INGHAM COUNTY, MICHIGAN

ARCHITECT  
**SBLM**  
 33 Walt Whitman Road, Suite 300A  
 Huntington Station, NY 11746  
 T: 631-683-5588 F: 631-683-5591  
 www.sblm.com



TIDAL WAVE AUTO SPA  
 SITE #115  
 PARCEL: 33-02-02-22-126-012  
 4880 MARSH ROAD  
 MERIDIAN TOWNSHIP  
 INGHAM COUNTY, MICHIGAN  
 CLIENT  
 P/J LAND DEVELOPMENT, LLC  
 71 CAROLYN BOULEVARD  
 FARMINGDALE, NY 11735

### PROJECT TEAM

ARCHITECT	CIVIL ENGINEER	CIVIL ENGINEER	STRUCTURAL ENGINEER	MEP ENGINEERS
<b>MICHAEL LEFANDE</b> PRINCIPAL SBLM ARCHITECTS MLEFANDE@SBLM.COM 631-683-5588 EXT 410 33 WALT WHITMAN RD SUITE 300A HUNTINGTON STATION, NY 11746	<b>RANDY REBOUT</b> BOHLER ENGINEERING SR. PROJECT MANAGER RREBOUT@BOHLERENG.COM 585-490-1551 C 70 LINDEN OAKS, THIRD FLOOR ROCHESTER, NY 14625	<b>ALEKSANDAR KOCISKI</b> BOHLER ENGINEERING KOCISKI@BOHLERENG.COM 631-738-1200 2929 EXPRESSWAY DRIVE NORTH, SUITE 120 HAUPPAUGE, NY 11749	<b>JOHN KIMBLE</b> HART GAUGLER + ASSOCIATES PRINCIPAL JKIMBLE@HARTGAUGLER.COM 972-239-5111 x205 12801 N. CENTRAL EXPRESSWAY SUITE 1400 DALLAS, TX 75243	<b>BRIAN TIMMONS</b> ACERTUS CONSULTING GROUP PROJECT MANAGER BTIMMONS@ACERTUSGROUP.COM 913-322-5150 14817 WEST 95TH STREET LENEXA, KS 66215
<b>NICHOLAS GARGISO</b> ASSOCIATE SBLM ARCHITECTS NGARGISO@SBLM.COM 631-683-5588 EXT 400 33 WALT WHITMAN RD SUITE 300A HUNTINGTON STATION, NY 11746	<b>AMANDA (SWEETMAN) DEWOLFE</b> BOHLER ENGINEERING SR. DESIGN ENGINEER ADEWOLFE@BOHLERENG.COM 518-438-9900 17 COMPUTER DRIVE WEST ALBANY, NY 12205	<b>RAGIN PACE</b> BOHLER ENGINEERING SENIOR DESIGN ENGINEER RPACE@BOHLERENG.COM 631-738-1200 2929 EXPRESSWAY DRIVE NORTH, SUITE 120 HAUPPAUGE, NY 11749	<b>BRYAN GONZALEZ</b> HART GAUGLER + ASSOCIATES PROJECT ENGINEER BGONZALEZ@HARTGAUGLER.COM 913-322-5150 12801 N. CENTRAL EXPRESSWAY SUITE 1400 DALLAS, TX 75243	<b>CAMERON SHANKS</b> ACERTUS CONSULTING GROUP PROJECT MANAGER CAMERONSHANKS@ACERTUSGROUP.COM 913-322-5150 14817 WEST 95TH STREET LENEXA, KS 66215
<b>ELIZABETH ROSADO-TORRES</b> SENIOR PROJECT MGR SBLM ARCHITECTS ETORRES@SBLM.COM 631-683-5588 EXT 414 33 WALT WHITMAN RD SUITE 300A HUNTINGTON STATION, NY 11746	<b>WYATT BENDA</b> BOHLER ENGINEERING STAFF ENGINEER WBENDA@BOHLERENG.COM 585-866-1100 70 LINDEN OAKS, THIRD FLOOR ROCHESTER, NY 14625	<b>VANESSA COREY</b> BOHLER ENGINEERING PROJECT COORDINATOR VCOREY@BOHLERENG.COM 631-738-1200 2929 EXPRESSWAY DRIVE NORTH, SUITE 120 HAUPPAUGE, NY 11749	<b>DARRIN JOHNSON</b> HART GAUGLER + ASSOCIATES BIM TECHNICIAN DJOHNSON@HARTGAUGLER.COM 972-239-5111 12801 N. CENTRAL EXPRESSWAY SUITE 1400 DALLAS, TX 75243	
<b>PETER ONORATO</b> JOB CAPTAIN SBLM ARCHITECTS PONORATO@SBLM.COM 631-683-5588 EXT 407 33 WALT WHITMAN RD SUITE 300A HUNTINGTON STATION, NY 11746				

### CODE INFORMATION

PROPERTY DESCRIPTION:	XX
BUILDING CODE:	XX
MECHANICAL CODE:	XX
PLUMBING CODE:	XX
ELECTRICAL CODE:	XX
FIRE CODE:	XX
LIFE SAFETY CODE:	XX
ENERGY CODE:	XX
ACCESSIBILITY CODE:	XX
FUEL CODE:	XX
JURISDICTION:	
PLANNING/ZONING:	XX
FIRE DEPARTMENT:	XX
REGULATIONS:	
OCCUPATIONAL SAFETY AND HEALTH ADMIN (OSHA)	XX
BUILDING AND CONSTRUCTION	XX
TRADE STANDARDS	CURRENT STANDARDS
UNDERWRITERS LAB (UL)	CURRENT ASSEMBLY CRITERIA
USE & OCCUPANCY	
STORAGE:	S1
BUSINESS:	B
SPECIAL REQUIREMENTS	N/A
BUILDING HEIGHT & AREA	
MAX. ALLOWED W/O AUTO SPRINKLER SYSTEM:	S1 = 2 STORIES, 55 FEET B = 3 STORIES, 55 FEET
PROVIDED:	ONE STORY, 14' TO ROOF EAVE
OCCUPANCY SEPARATION:	NOT REQUIRED BETWEEN (S1) STORAGE & (B) BUSINESS
TYPE OF CONSTRUCTION	TYPE II-B
FIRE RESISTANCE RATINGS PER BUILDING ELEMENT	
PRIMARY STRUCTURAL FRAME:	NONE
EXTERIOR BEARING WALLS:	NONE
INTERIOR BEARING WALLS:	NONE
ROOF:	NONE
FIRE AND SMOKE PROTECTION FEATURES	
FIRE RESISTANCE RATING OF EXTERIOR WALLS DUE TO DISTANCE FROM PROPERTY LINE SHALL MEET CODE REQUIREMENTS.	
INTERIOR FINISHES	
MIN. FLAME SPREAD INDEX (W/O AUTOMATIC SPRINKLER SYSTEM):	B & S1 = CLASS C
FIRE PROTECTION SYSTEMS	
FIRE SPRINKLER:	NOT REQUIRED
FIRE ALARM:	NOT REQUIRED
MEANS OF EGRESS	
REFER TO LIFE SAFETY/EGRESS PLAN FOR SPECIFIC CALCULATIONS.	
OCCUPANT LOAD:	SEE LIFE SAFETY PLAN
NUMBER OF EXITS:	SEE LIFE SAFETY PLAN
PLUMBING SYSTEMS	
REQUIRED PLUMBING FIXTURES:	1 WATER CLOSET, 1 LAVATORY
PROVIDED PLUMBING FIXTURES:	1 WATER CLOSET, 1 LAVATORY, 2 DRINKING FOUNTAINS (ONE MOUNTED AT ACCESSIBLE HEIGHT)

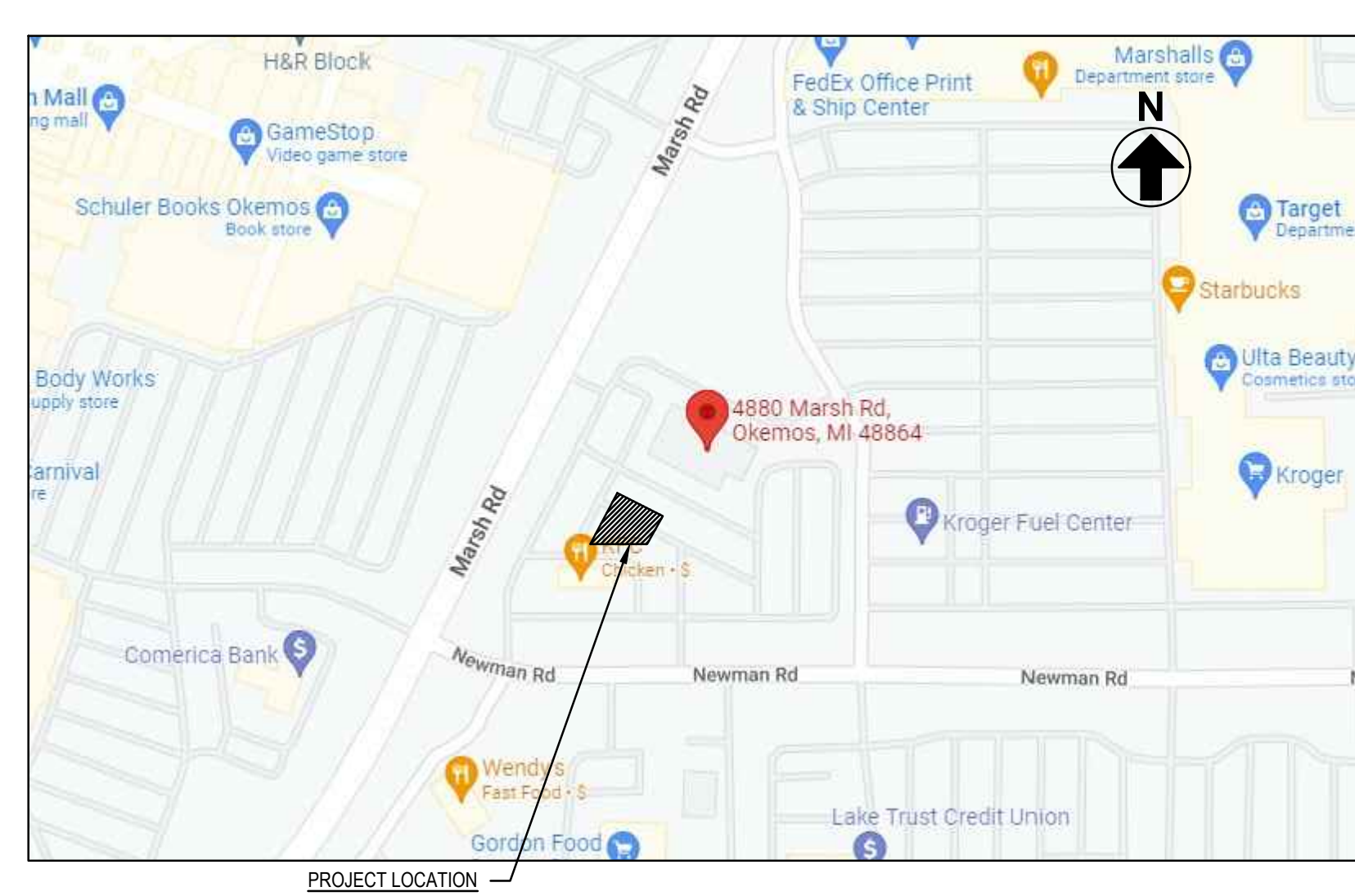
### DRAWING INDEX

NO.	DESCRIPTION	12-14-22	ISSUE FOR REVIEW	ISSUE FOR PERMIT	CONSTRUCTION DOCUMENTS
	● SHEETS ADDED OR REVISED				
	○ SHEETS REISSUED WITHOUT REVISIONS				
<b>GENERAL</b>					
G001	COVER SHEET		●		
G002	SPECIFICATIONS		●		
G003	RESPONSIBILITY MATRIX		●		
G010	LIFE SAFETY		●		
G011	FIRE RATED ASSEMBLIES		●		
G100	PRIMARY BUILDING - FLOOR PLAN & COLOR ELEVATIONS		●		
G101	AUX. BUILDINGS - FLOOR PLANS & COLOR ELEVATIONS		●		
G102	CANOPY - FLOOR PLANS & COLOR ELEVATIONS		●		
<b>ARCHITECTURAL</b>					
A001	ARCHITECTURAL SITE PLAN		●		
A101	UTILITY COORDINATION PLAN				
A102	FLOOR PLAN				
A103	ROOF & ROOF PLANS				
A104	SLAB PLAN AND TRENCH SECTIONS				
A105	TRENCH DETAILS				
A200	ENLARGED PLANS				
A201	EXTERIOR ELEVATIONS				
A301	BUILDING SECTIONS				
A302	BUILDING SECTIONS				
A312	SECTIONS & DETAILS				
A320	PLAN DETAILS				
A401	AUXILIARY BUILDINGS				
A402	VACUUM CANOPY 1				
A403	VACUUM CANOPY 2				
A404	VACUUM CANOPY 3				
A420	DETAILS				
A600	DOOR AND LIGHTING FIXTURE SCHEDULES				
A601	DOOR HEAD & JAMB DETAILS				
A602	STOREFRONT SCHEDULE & DETAILS				
A701	SCHEMATIC EQUIPMENT PLAN				

### DRAWING INDEX (CONTINUED)

NO.	DESCRIPTION	12-14-22	ISSUE FOR REVIEW	ISSUE FOR PERMIT	CONSTRUCTION DOCUMENTS
	● SHEETS ADDED OR REVISED				
	○ SHEETS REISSUED WITHOUT REVISIONS				
<b>APPENDIX A (CAR WASH EQUIPMENT PLANS)</b>					
01	INDEX				
02	SPECIFICATIONS				
2.1	CONVEYOR TRENCH LAYOUT				
2.2	CONVEYOR SLOPE DIAGRAM				
4.3	RECLAIM TANK SYSTEM				
4.4	RECLAIM SYSTEM				
5.1	EQUIPMENT LIST 1				
5.2	EQUIPMENT LIST 2				
5.3	EQUIPMENT LIST 3				
6.1	TUNNEL EQUIPMENT LAYOUT				
6.2	TUNNEL EQUIPMENT NAMES AND LED LAYOUT				
6.3	BLOWER CONFIGURATION				
7.1	SUPPORT EQUIPMENT				
8.1	PLUMBING				
8.2	HYDRAFLEX BOARD LAYOUT				
8.3	PREP-GUN PLUMBING				
8.4	WINDOW WASHING MANIFOLD				
9.1	CONTROL VOLTAGE				
9.2	CONTROL AND SIGNAGE CONDUIT RUNS				
9.4	MOTOR POWER				
9.5	ONE-LINE ELECTRIC				
9.6	ELECTRIC PANELS				
9.7	TURCK BLOCK DETAILING				
10.1	VACUUM GENERIC LAYOUT				
10.5	VACUUM FOUNDATION LAYOUT				
10.7	VACUUM PRODUCER ASSEMBLY DETAIL				

### VICINITY MAP



### SITE MAP



### SYMBOL LEGEND

	DRAWING MARKER		KEYNOTE INDICATOR
	SECTION INDICATOR		WALL TYPE INDICATOR
	ELEVATION INDICATOR		DOOR SYMBOL
	DETAIL INDICATOR		WINDOW SYMBOL
	ROOM NAME INDICATOR		REVISION SYMBOL
	NORTH ARROW		MATERIAL FINISH SYMBOL
			ELEVATION TICK
			COLUMN NUMBER REFER TO STRUCTURAL

### ABBREVIATIONS

A.B.	ANCHOR BOLT	F.D.	FLOOR DRAIN	M.E.P.	MECH/ELEC/PLUMB	QTY.	QUANTITY
ABV.	ABOVE	F.E.	FIRE EXTINGUISHER	MFR.	MANUFACTURER	U.L.	UNDERWRITERS LABORATORIES
ADJ.	ADJUSTABLE	F.E.C.	FIRE EXTINGUISHER CABINET	MIN.	MINIMUM	U.N.O.	UNLESS NOTED OTHERWISE
A.F.F.	ABOVE FINISHED FLOOR	F.F.	FINISH FLOOR	MISC.	MISCELLANEOUS	V.B.	VINYL BASE OR VAPOR BARRIER
ALUM.	ALUMINUM	F.F.E.	FINISH FLOOR ELEVATION	M.O.D.	MASONRY OPENING	V.C.T.	VINYL COMPOSITION TILE
ANSI	AMERICAN NATIONAL STANDARD	FIN.	FINISH	M.R.	MOISTURE RESISTANT	VERT.	VERTICAL
BTM	BOTTOM OF	FL.	FLOOR	MTL.	METAL	W.	WITH
B.M.	BEAM	FOUND.	FOUNDATION	N.I.C.	NOT IN CONTRACT	W/O	WITHOUT
B.M.	BOTTOM	FRP	FIBER REINFORCED PANEL	N.T.S.	NOT TO SCALE	WD.	WOOD
CAB.	CABINET	FTG.	FOOTING	NO.	NUMBER	WRB	WEATHER RESISTANT BARRIER
C.J.	CONTROL JOINT	GA.	GAGE/GAUGE	O.C.	ON CENTER		
C.L.	CENTERLINE	G.C.	GENERAL CONTRACTOR	OPP.	OPPOSITE		
C.L.	CENTRAL LINE	GFI	GROUND FAULT INTERRUPT	OPP. HAND	OPPOSITE HAND		
CLOS.	CLOSET	GL.	GLASS/GLAZING	P.E.M.B.	PRE-ENGINEERED METL. BLDG		
CMU	CONCRETE MASONRY UNIT	G.W.B.	GYP/SUM WALL BOARD	PL.	PLATE		
COL.	COLUMN	GYP BD.	GYP/SUM BOARD	PLY.	PLYWOOD		
CONC.	CONCRETE	H.B.	HOLLOW CORE	PLUMB.	PLUMBING		
CONT.	CONTINUOUS	H.C.	HOLLOW CORE	PREFIN.	PREFINISHED		
C.W.	COLD WATER	H.M.	HOLLOW METAL	REQ'D	REQUIRED		
DN.	DOWN	HORIZ.	HORIZONTAL	R.O.	ROUGH OPENING		
DN.	DOWN	HR.	HOUR	R.R.	RESTROOM		
DN.	DOWN	HT.	HEIGHT	R.O.	ROUGH OPENING		
DN.	DOWN	HVAC	HEATING/VENT/AIR/COND.	SCHED.	SCHEDULE		
DN.	DOWN	INSUL.	INSULATION	S.F.	STOREFRONT or SQUARE FEET		
DN.	DOWN	INT.	INTERIOR	SIM.	SIMILAR		
DN.	DOWN	JST.	JOIST	S.S.	STAINLESS STEEL		
DN.	DOWN	JT.	JOINT	STRUCT.	STRUCTURAL		
DN.	DOWN	LAM.	LAMINATE	STL.	STEEL		
DN.	DOWN	L.F.	LINEAL FEET	T/.	TOP OF		
DN.	DOWN	L.V.	LONG LEG VERTICAL	T/S	TUBE STEEL		
DN.	DOWN	LAYER.	LAYER	THK.	THICK		
DN.	DOWN	L.E.	ELECTRIC EQUIPMENT	T.O.W.	TOP OF WALL		
DN.	DOWN	L.V.	ELECTRIC WATER COOLER	T.S.	THICKEN SLAB		
DN.	DOWN	EX.	EXISTING	TYP.	TYPICAL		
DN.	DOWN	EXT.	EXTERIOR				

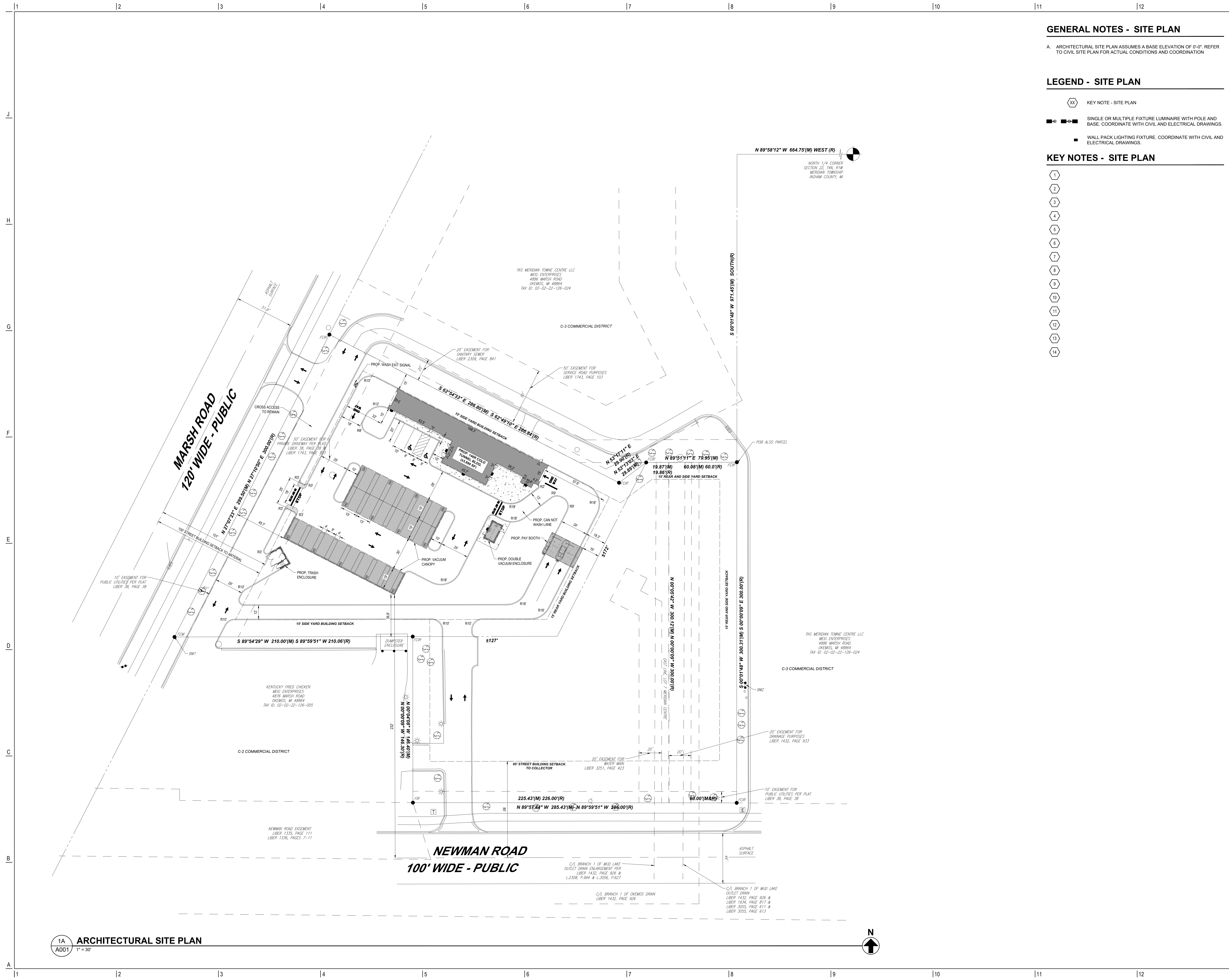
NOT FOR CONSTRUCTION

PROJECT REVISIONS		
ISSUED:	DECEMBER 14, 2022	
REVISED:		
NO.	DATE	DESCRIPTION
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-	-	ISSUE FOR PERMIT
-	-	CONSTRUCTION DOCUMENTS

PROJECT INFORMATION  
**TIDAL WAVE**  
 AUTO SPA  
 ADDRESS: 4880 MARSH ROAD  
 MERIDIAN TOWNSHIP  
 INGHAM COUNTY, MICHIGAN  
 PROJ. NO.: TWC114  
 DRAWN BY: P.M.O. CHECKED BY: E.R.T.  
 SHEET SIZE: 30" x 42"

SHEET TITLE & NUMBER  
**COVER SHEET**  
**G001**





**GENERAL NOTES - SITE PLAN**

A. ARCHITECTURAL SITE PLAN ASSUMES A BASE ELEVATION OF 0'-0". REFER TO CIVIL SITE PLAN FOR ACTUAL CONDITIONS AND COORDINATION

**LEGEND - SITE PLAN**

- (X) KEY NOTE - SITE PLAN
- SINGLE OR MULTIPLE FIXTURE LUMINAIRE WITH POLE AND BASE. COORDINATE WITH CIVIL AND ELECTRICAL DRAWINGS.
- WALL PACK LIGHTING FIXTURE. COORDINATE WITH CIVIL AND ELECTRICAL DRAWINGS.

**KEY NOTES - SITE PLAN**

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10
- 11
- 12
- 13
- 14

ARCHITECT



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PROJECT



TIDAL WAVE AUTO SPA  
SITE #115  
PARCEL: 33.02.02.22-126-012  
4880 MARSH ROAD  
MERIDIAN TOWNSHIP  
INGHAM COUNTY, MICHIGAN

CLIENT

PJ LAND DEVELOPMENT, LLC  
71 CAROLYN BOULEVARD  
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CONSULTANT

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CIVIL  
BOHLER  
17 COMPUTER DRIVE WEST  
ALBANY, NY 12205  
518.438.8900

SEAL

**NOT FOR CONSTRUCTION**

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REVISED	DATE	DESCRIPTION
ISSUED	DECEMBER 14, 2022	
-	12-14-22	ISSUE FOR REVIEW COLOR ELEVATIONS
-	-	ISSUE FOR PERMIT CONSTRUCTION DOCUMENTS

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AUTO SPA

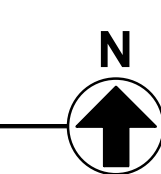
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MERIDIAN TOWNSHIP  
INGHAM COUNTY, MICHIGAN

PROJ. NO.: TWC114  
DRAWN BY: PMO  
CHECKED BY: ERT  
SHEET SIZE: 30" x 42"

**SHEET TITLE & NUMBER**

**ARCHITECTURAL**  
**SITE PLAN**

**A001**

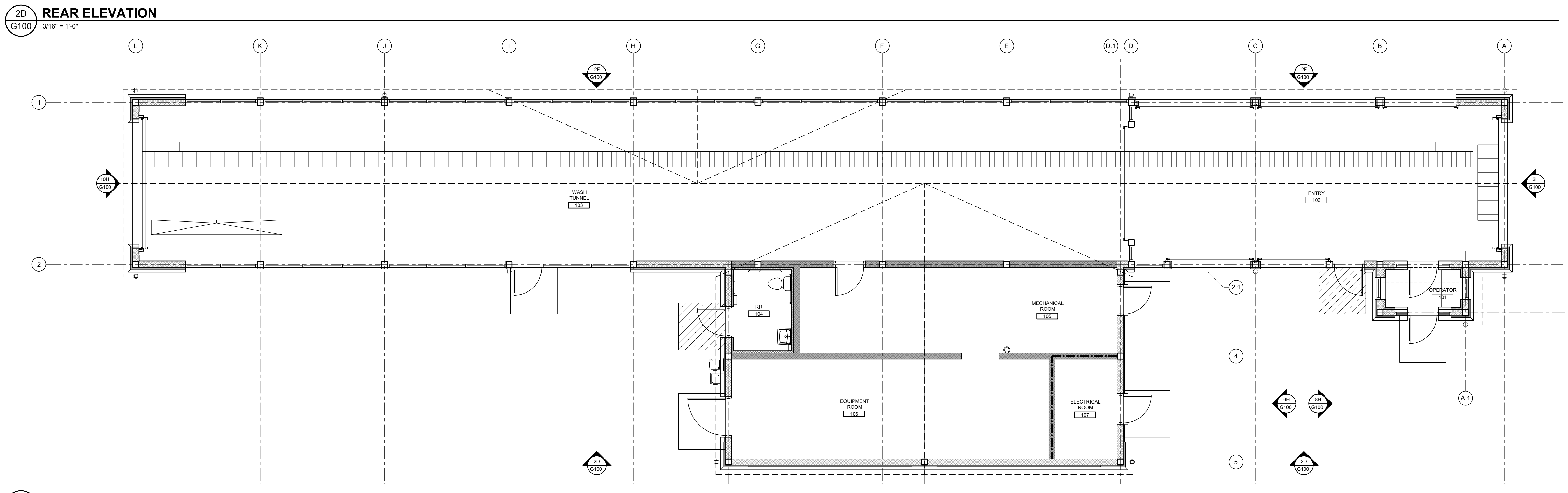
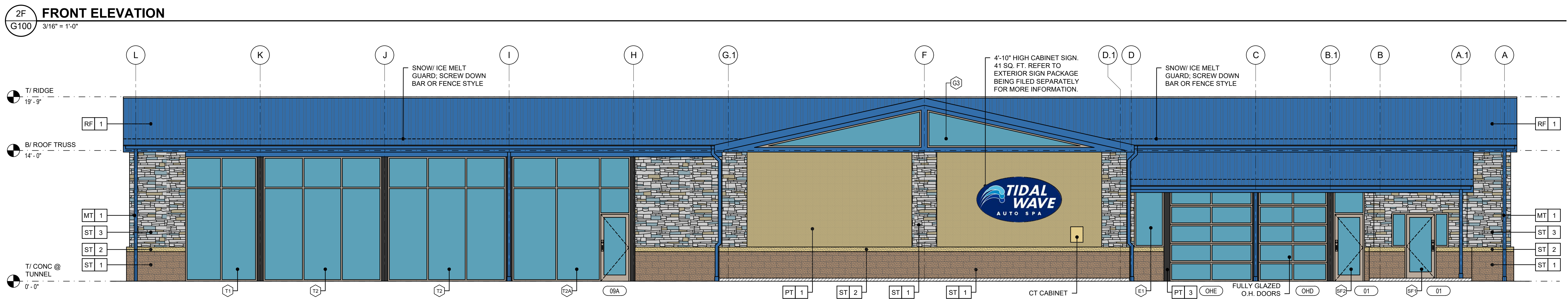
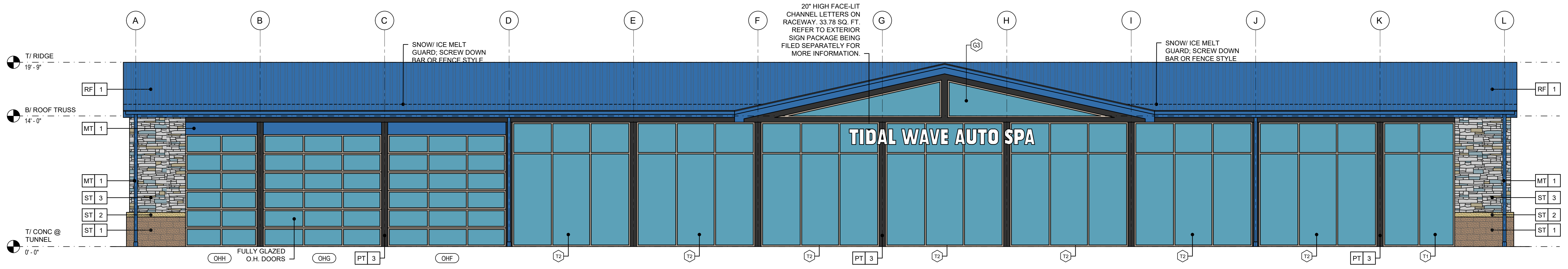
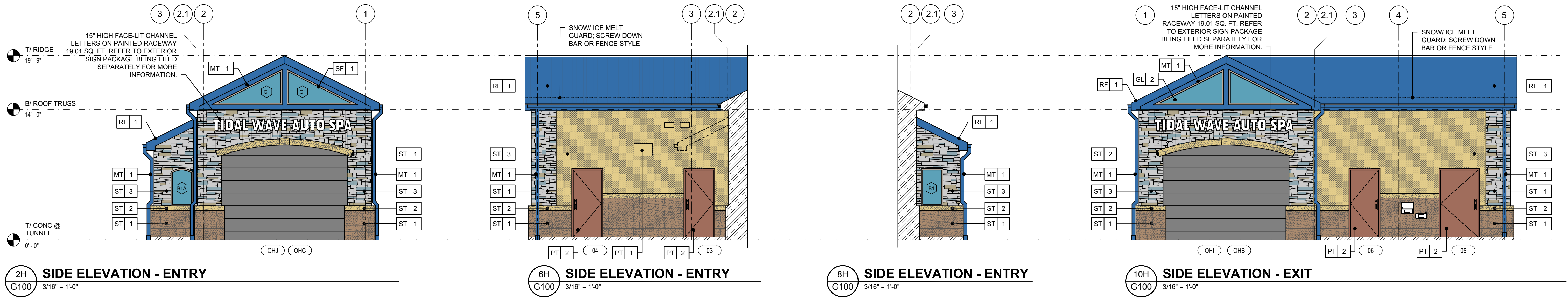




**EXTERIOR MATERIAL LEGEND**


<b>MARK</b> ST-1	<b>ITEM</b> SPLITFACE BLOCK VENEER
<b>MFR</b> ECHOLON OLD CASTLE	<b>FINISH</b> TAN (OAK)
<b>STYLE</b> SPLITFACE	<b>NOTES</b> 8" X 16" X 4" (NOMINAL)
<b>MARK</b> ST-2	<b>ITEM</b> CAST STONE WATERTABLE
<b>MFR</b> BORAL	<b>FINISH</b> WHITE
<b>STYLE</b> SPLITFACE	<b>NOTES</b> 7 5/8" H X 5 5/8" D X 4'-0" L WITH 45 DEGREE BEVEL AND DRIP
<b>MARK</b> ST-3	<b>ITEM</b> THIN-SET STONE VENEER
<b>MFR</b> CENTURION STONE	<b>FINISH</b> GRAY, RUST, TAN
<b>STYLE</b> KENTUCKY LEDGESTONE	<b>NOTES</b>
<b>MARK</b> PT-1	<b>ITEM</b> EXTERIOR PAINT
<b>MFR</b> SHERWIN WILLIAMS	<b>FINISH</b> SW 9102 QUINOA
<b>STYLE</b> ELASTOMERIC	<b>NOTES</b> LOUVERS & MISC. METAL ITEMS ON EIFS PROVIDE CUSTOM COLOR EIFS TO MATCH PT-1
<b>MARK</b> PT-2	<b>ITEM</b> EXTERIOR PAINT
<b>MFR</b> SHERWIN WILLIAMS	<b>FINISH</b> SW 2735 ROCKWEED
<b>STYLE</b> METAL	<b>NOTES</b> ALL HM DOORS AND FRAMES
<b>MARK</b> PT-3	<b>ITEM</b> EXTERIOR PAINT
<b>MFR</b> SHERWIN WILLIAMS	<b>FINISH</b> SW 2735 ROCKWEED
<b>STYLE</b> METAL	<b>NOTES</b> ALL EXPOSED STRUCTURAL STEEL TRUSSES, COLUMNS
<b>MARK</b> SF-1	<b>ITEM</b> STOREFRONT
<b>MFR</b> KAVINEER	<b>FINISH</b> BRONZE
<b>STYLE</b> SMOOTH	<b>NOTES</b> STOREFRONT FRAMES
<b>MARK</b> RF-1	<b>ITEM</b> METAL ROOF R-PANELS
<b>MFR</b> BERRIDGE	<b>FINISH</b> REGAL BLUE
<b>STYLE</b> PRE-FINISHED	<b>NOTES</b> PRE-FINISHED METAL ROOF & ACCESSORIES
<b>MARK</b> MT-1	<b>ITEM</b> METAL ROOF L-PANELS
<b>MFR</b> BERRIDGE	<b>FINISH</b> REGAL BLUE
<b>STYLE</b> PRE-FINISHED, SMOOTH	<b>NOTES</b> PRE-FINISHED METAL TRIM, SOFFIT, FACIA & ACCESSORIES. PERFORATED WHERE INDICATED
<b>MARK</b> GL-1	<b>ITEM</b> INSULATED GLAZING
<b>MFR</b> KAVINEER	<b>FINISH</b> CLEAR
<b>STYLE</b> SMOOTH	<b>NOTES</b> STOREFRONT GLAZING

**NOTE:** ALL GROUND AND ROOF-MOUNTED MECHANICAL UNITS WILL BE COMPLETELY SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND RIGHTS OF WAY.



**2A G100** PRIMARY BUILDING - FLOOR PLAN  
3/16" = 1'-0"

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PROJECT  
  
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 FARMINGDALE, NY 11735

CONSULTANT  
 STRUCTURAL  
 HART GAUGLER - ASSOCIATES  
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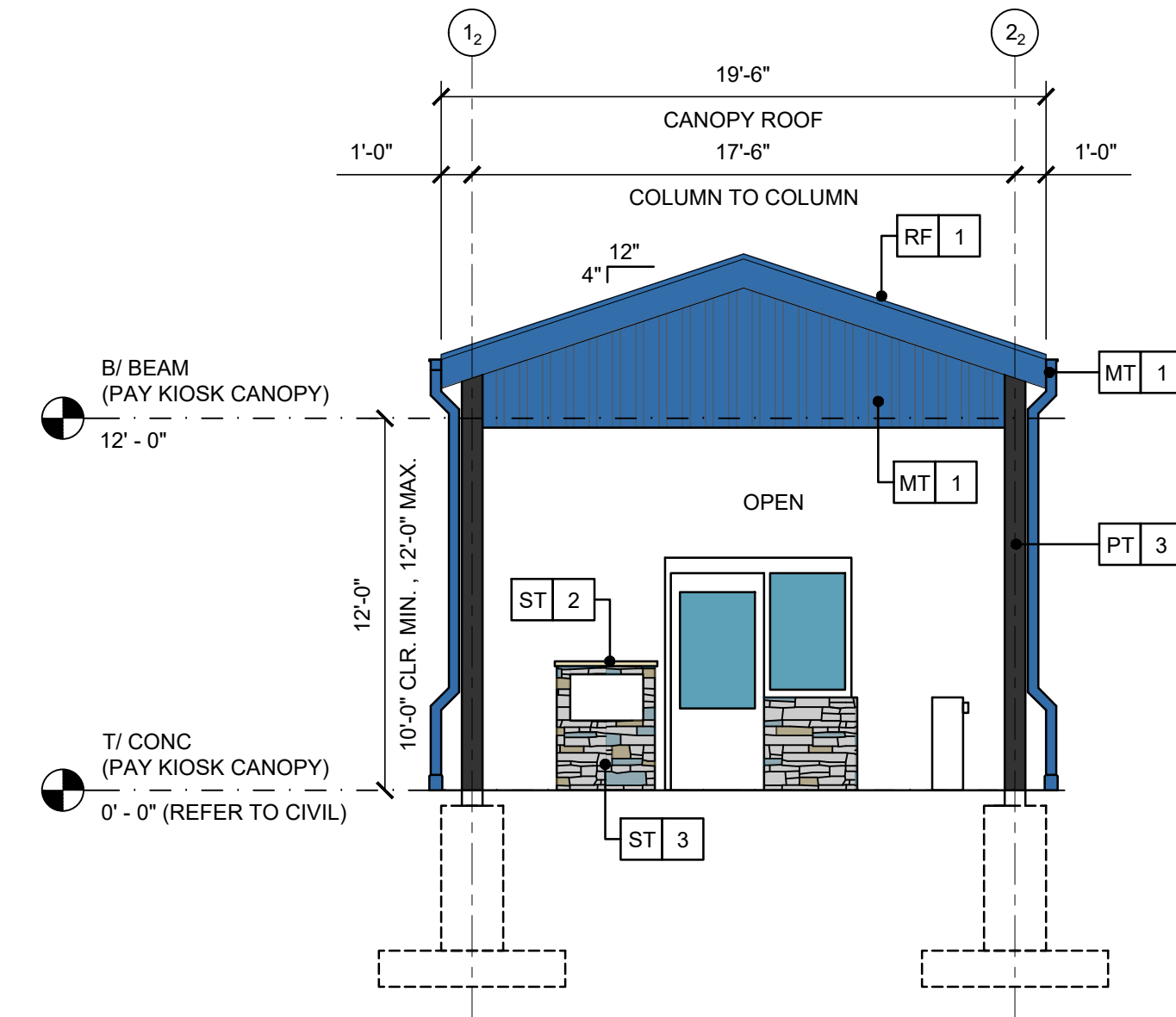
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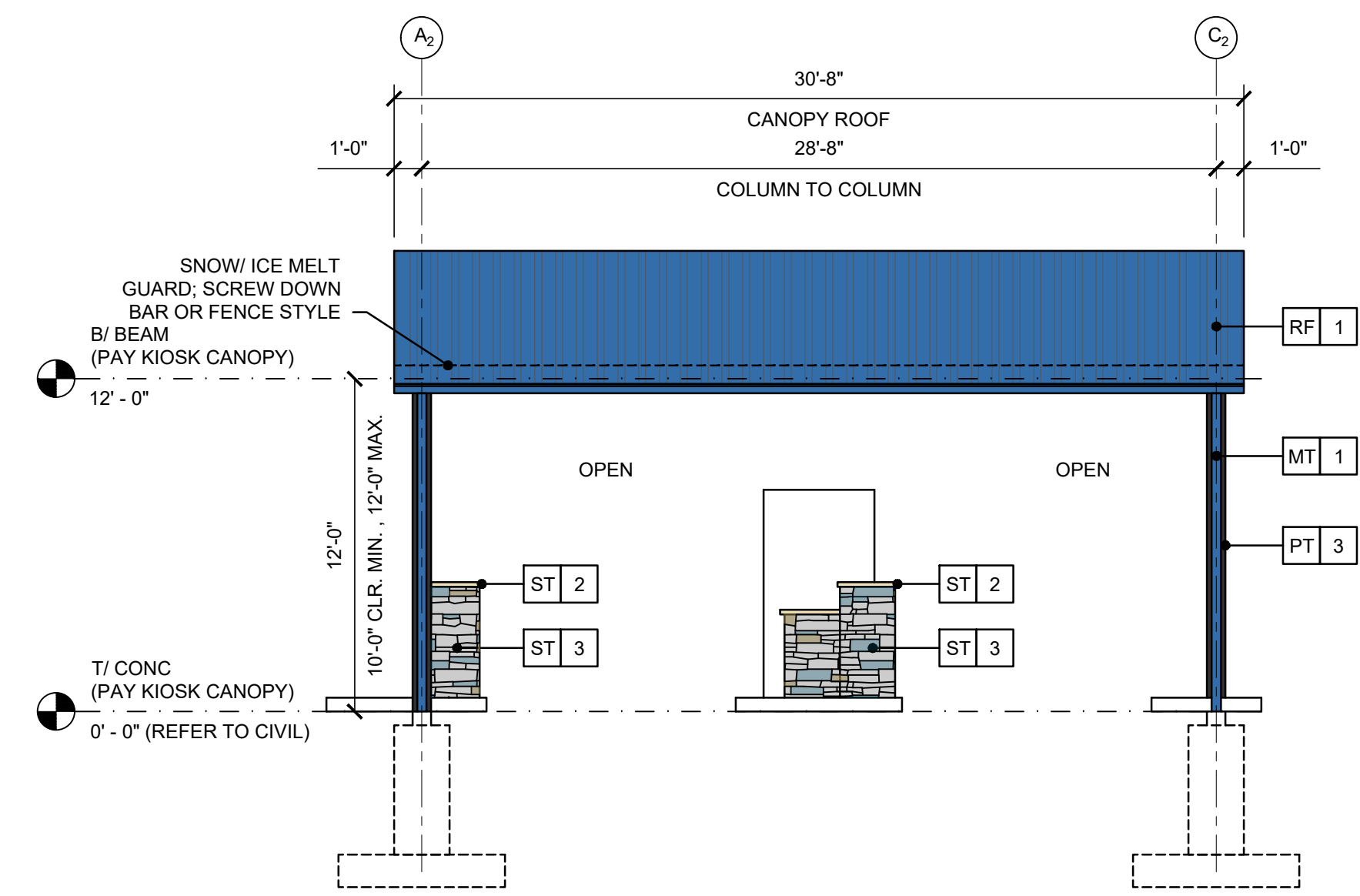
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	MARK ST-1 ITEM SPLITFACE BLOCK VENEER MFR ECHELON/ OLD CASTLE FINISH TAN (OAK) STYLE SPLITFACE NOTES 8" X 16" X 4" (NOMINAL)
	MARK ST-2 ITEM CAST STONE WATERTABLE MFR BORAL FINISH WHITE STYLE NOTES 7 5/8" H X 5 5/8" D X 4" L WITH 45 DEGREE BEVEL AND DRIP
	MARK ST-3 ITEM THIN-SET STONE VENEER MFR CENTURION STONE FINISH GRAY, RUST, TAN STYLE KENTUCKY LEDGESTONE NOTES
	MARK PT-1 ITEM EXTERIOR PAINT MFR SHERWIN WILLIAMS FINISH SW 9102 QUINOA STYLE ELASTOMERIC NOTES LOUVERS & MISC. METAL ITEMS ON EIFS PROVIDE CUSTOM COLOR EIFS TO MATCH PT-1
	MARK PT-2 ITEM EXTERIOR PAINT MFR SHERWIN WILLIAMS FINISH SW 2735 ROCKWEED STYLE METAL NOTES ALL HM DOORS AND FRAMES
	MARK PT-3 ITEM EXTERIOR PAINT MFR SHERWIN WILLIAMS FINISH SW 2735 ROCKWEED STYLE METAL NOTES ALL EXPOSED STRUCTURAL STEEL TRUSSES, COLUMNS
	MARK SF-1 ITEM STOREFRONT MFR KAVINEER FINISH BRONZE STYLE SMOOTH NOTES STOREFRONT FRAMES
	MARK RF-1 ITEM METAL ROOF R-PANELS MFR BERRIDGE FINISH REGAL BLUE STYLE PRE-FINISHED NOTES PRE-FINISHED METAL ROOF & ACCESSORIES
	MARK MT-1 ITEM METAL ROOF L-PANELS MFR BERRIDGE FINISH REGAL BLUE STYLE PRE-FINISHED, SMOOTH NOTES PRE-FINISHED METAL TRIM, SOFFIT, FACIA & ACCESSORIES. PERFORATED WHERE INDICATED
	MARK GL-1 ITEM INSULATED GLAZING MFR KAVINEER FINISH CLEAR STYLE SMOOTH NOTES STOREFRONT GLAZING

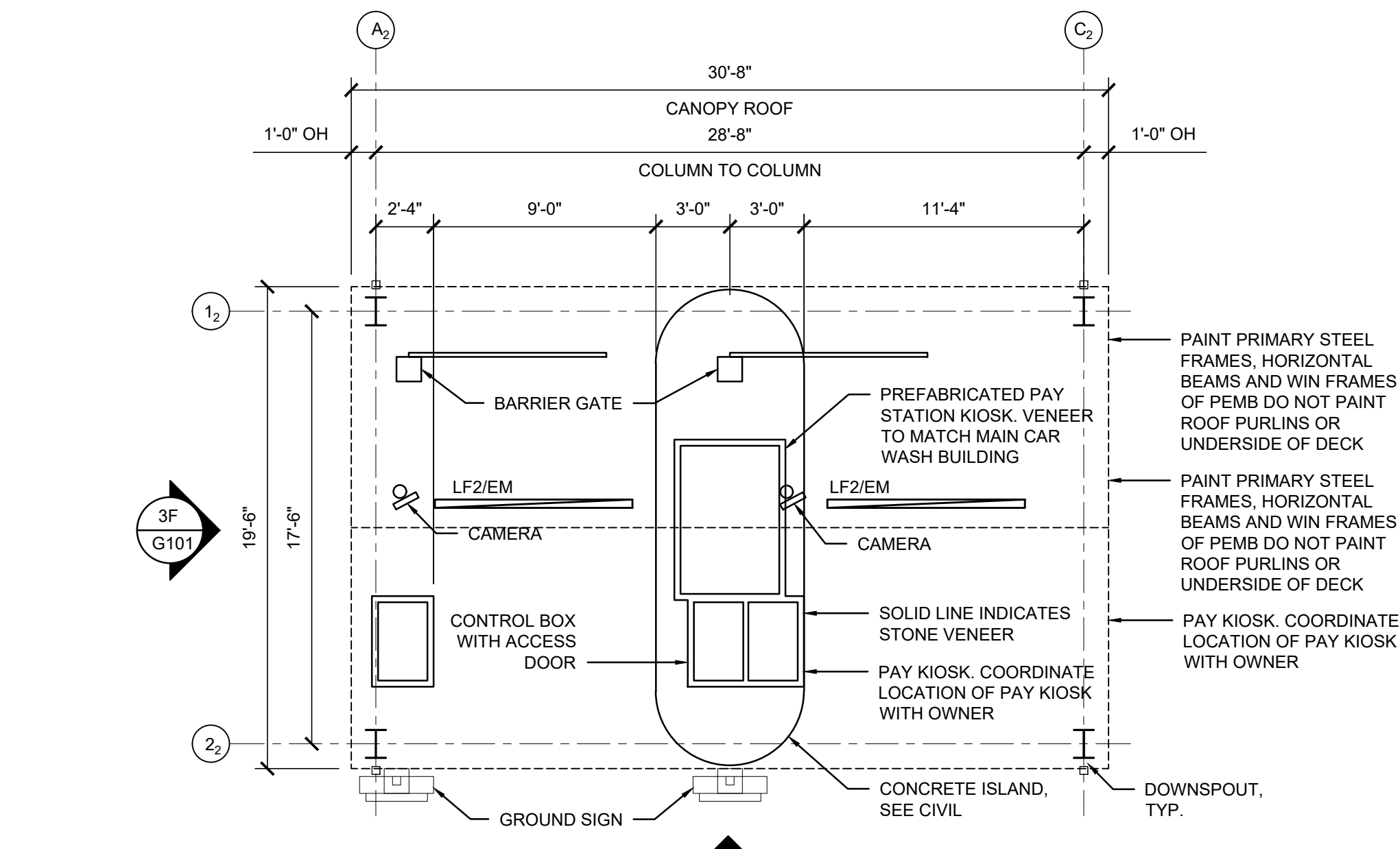
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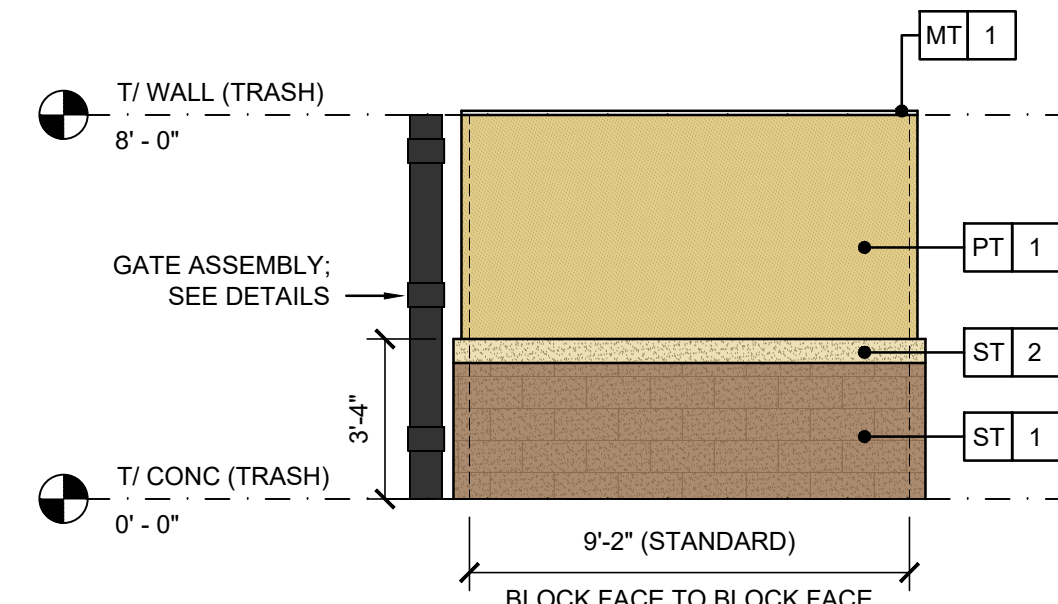
**3F PAY STATION - END ELEVATION**  
G101 3/16" = 1'-0"



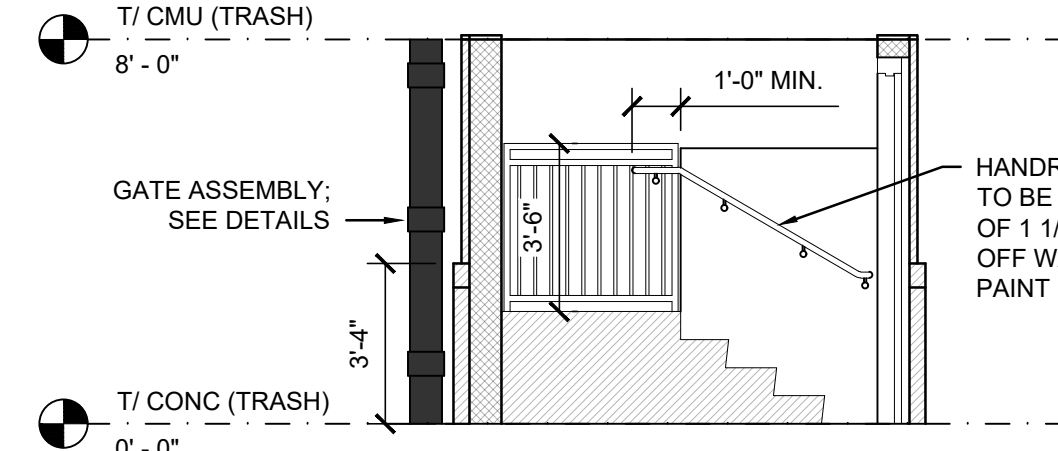
**3D PAY STATION - SIDE ELEVATION**  
G101 3/16" = 1'-0"



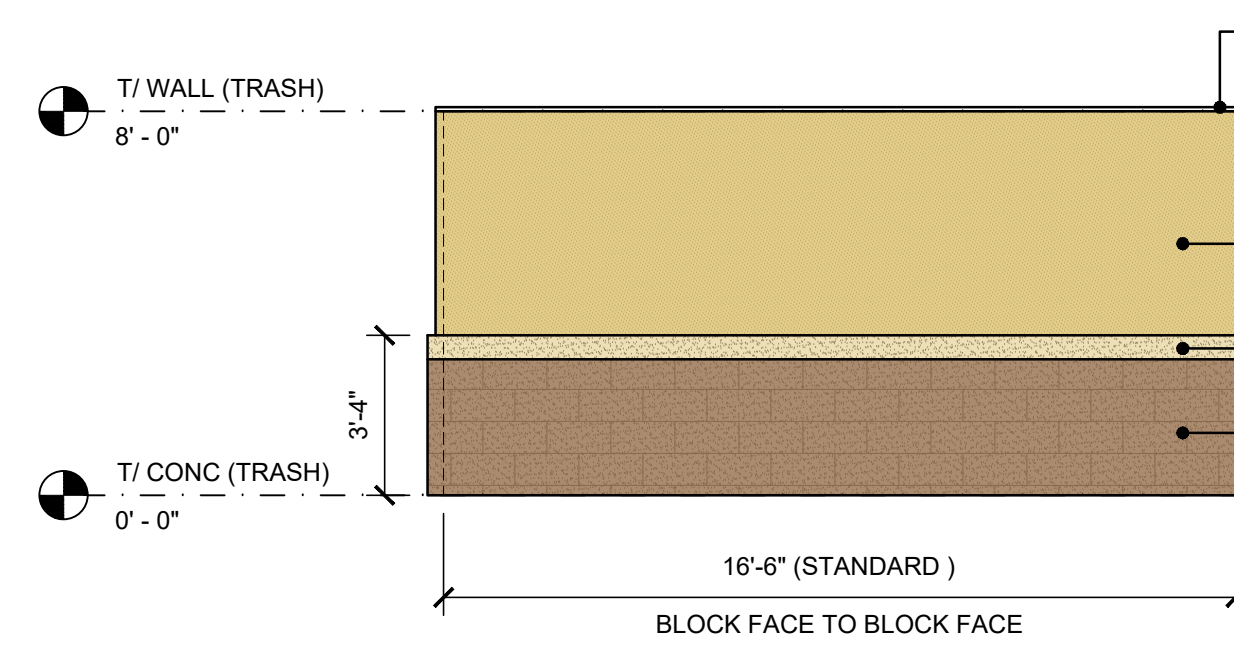
**3A PAY STATION - PLAN**  
G101 3/16" = 1'-0"



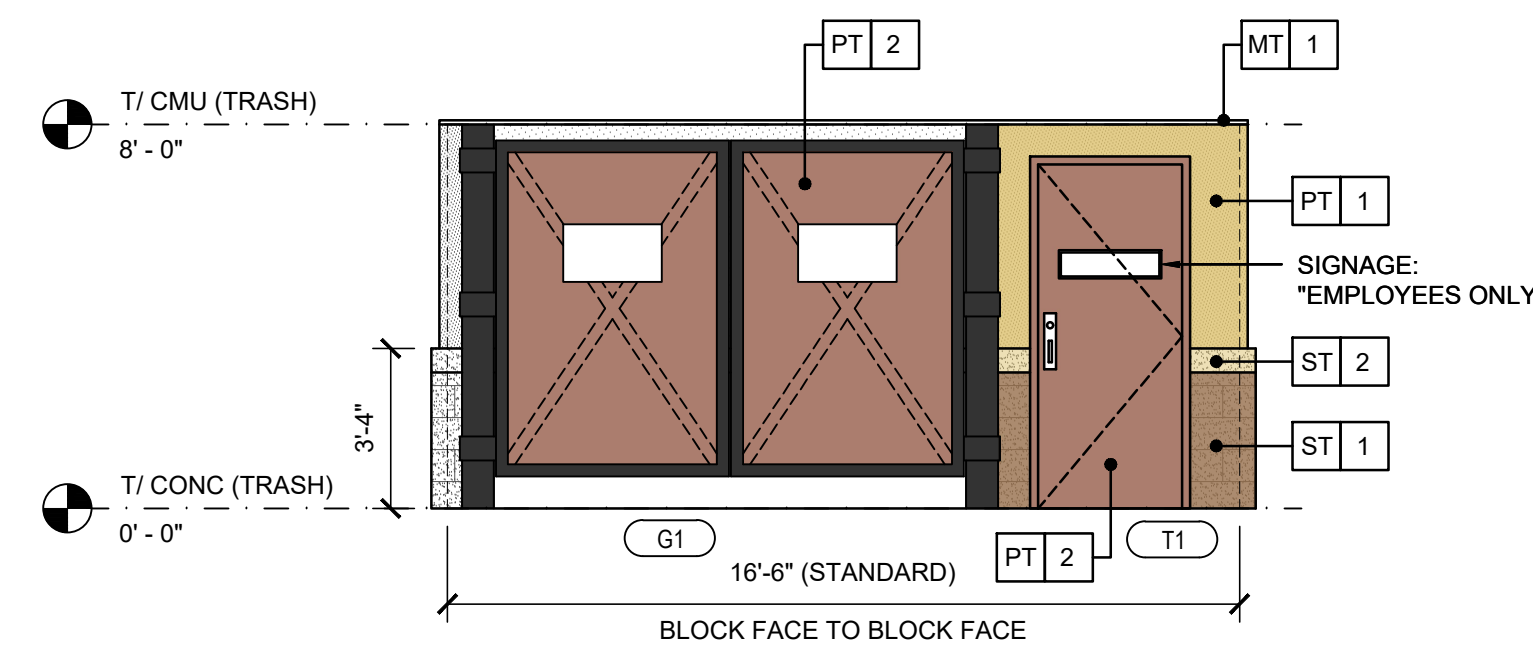
**6G TRASH ENCLOSURE - SIDE ELEVATION**  
G101 1/4" = 1'-0"



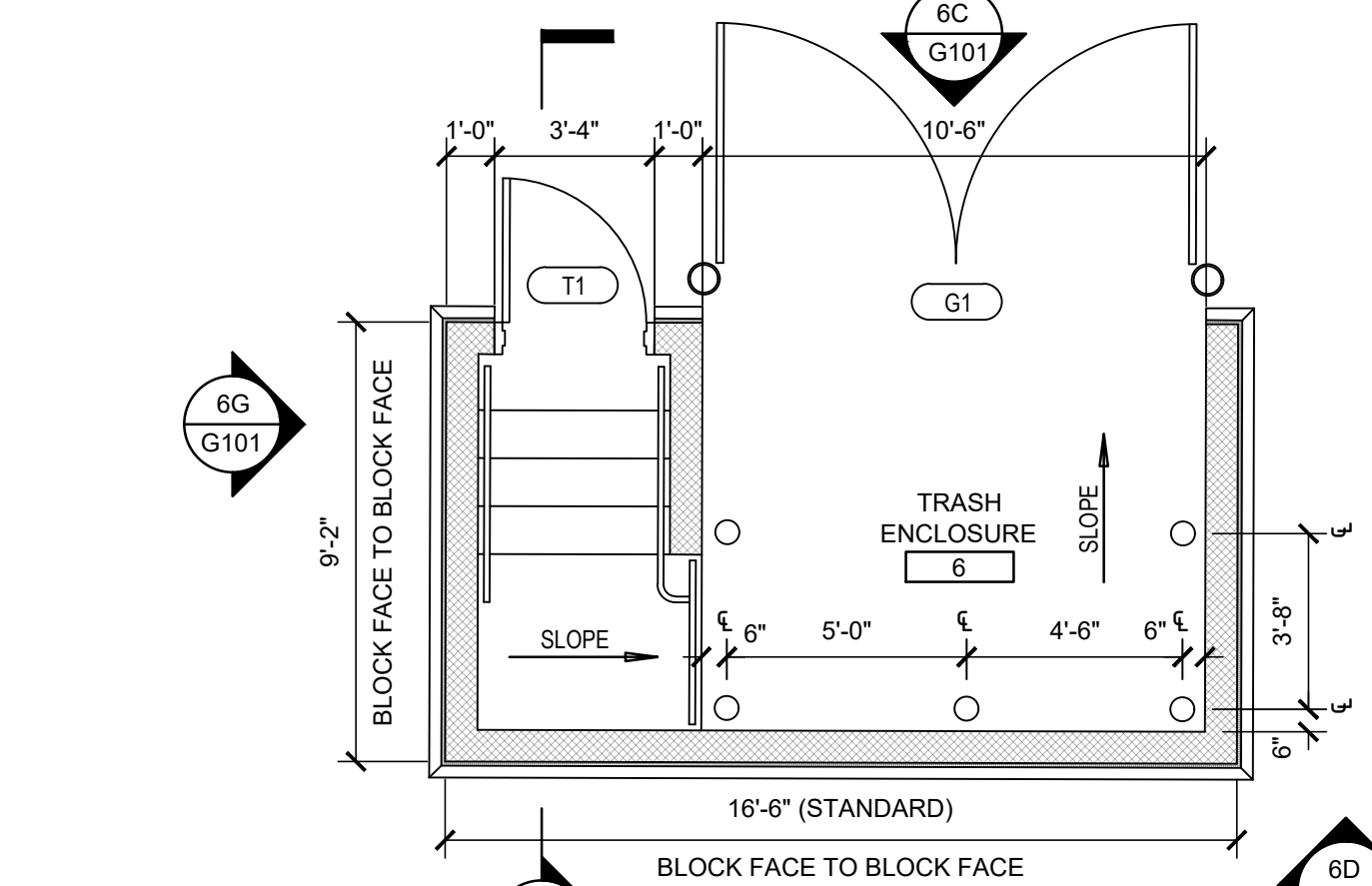
**6F TRASH ENCLOSURE - STAIR SECTION**  
G101 1/4" = 1'-0"



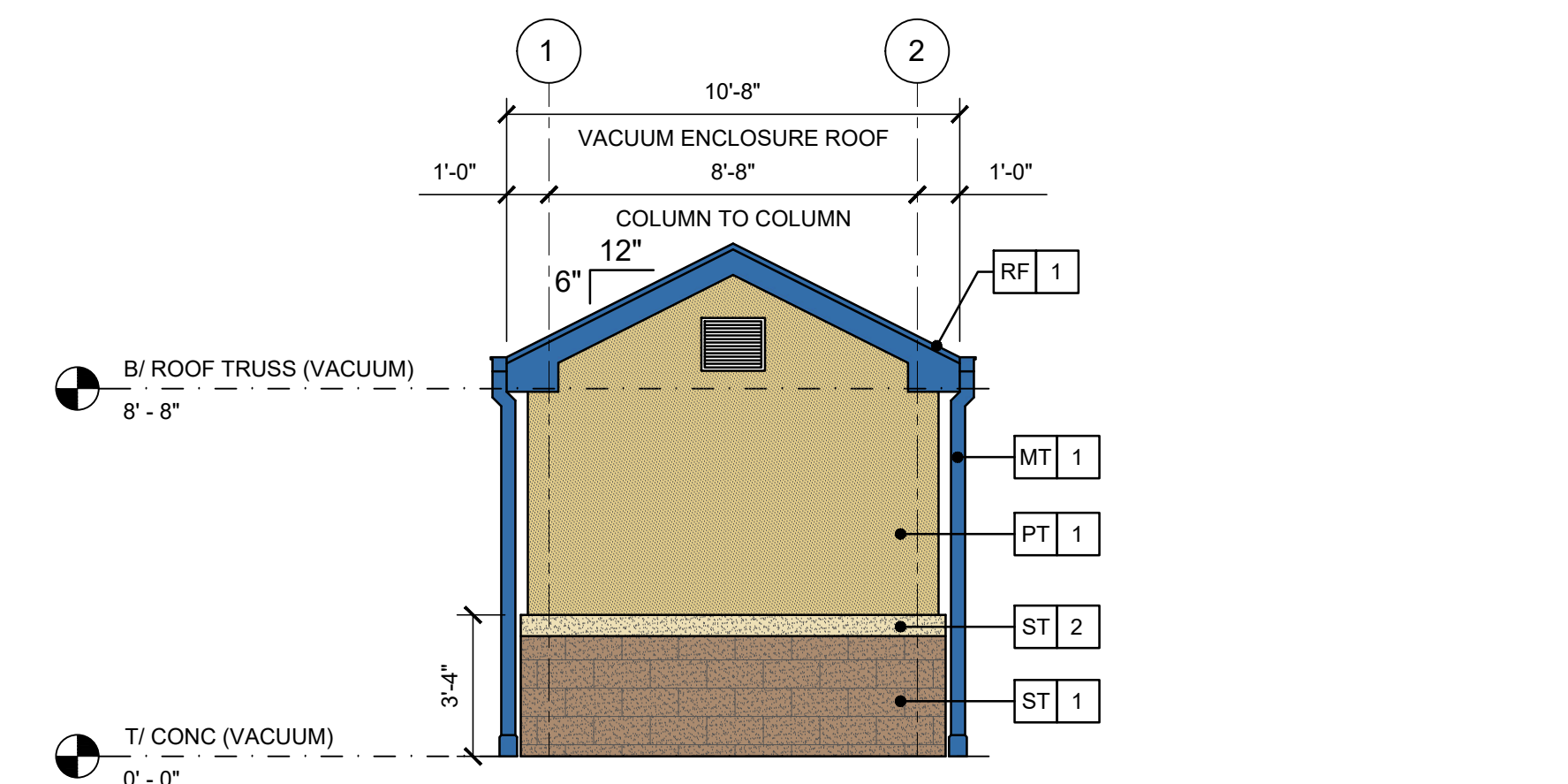
**6D TRASH ENCLOSURE - FRONT ELEVATION**  
G101 1/4" = 1'-0"



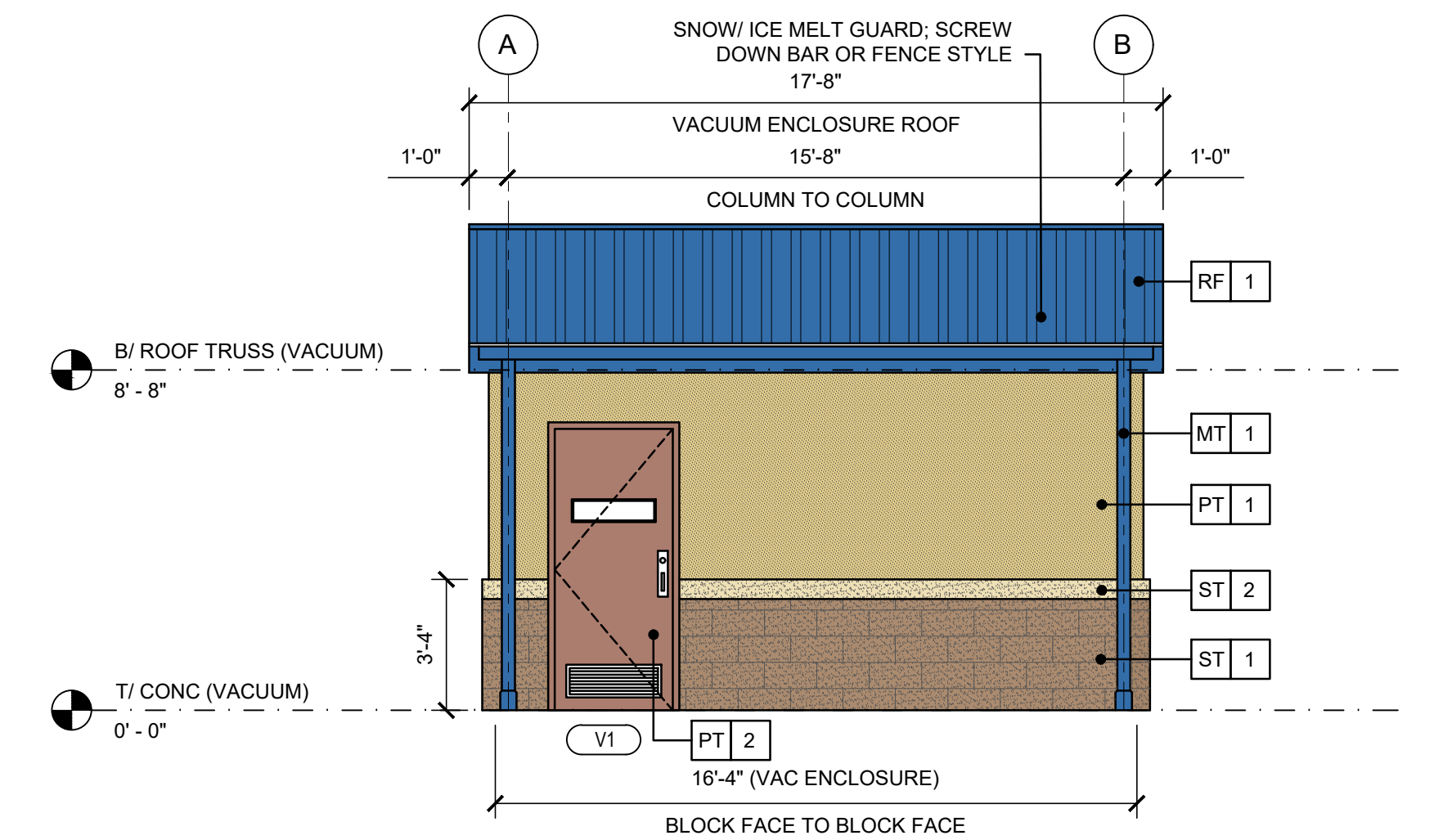
**6C TRASH ENCLOSURE - REAR ELEVATION**  
G101 1/4" = 1'-0"



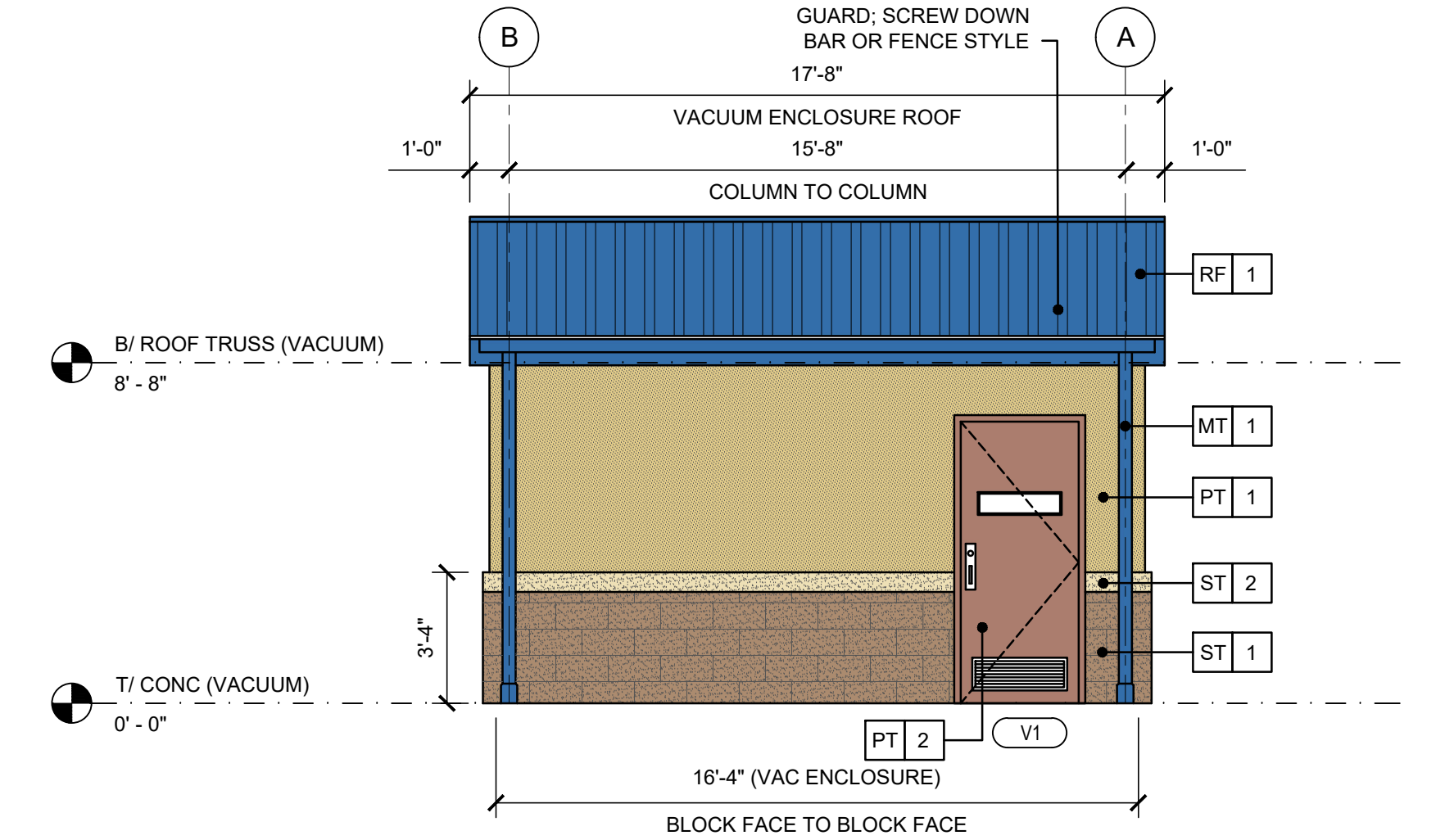
**6A TRASH ENCLOSURE - PLAN**  
G101 1/4" = 1'-0"



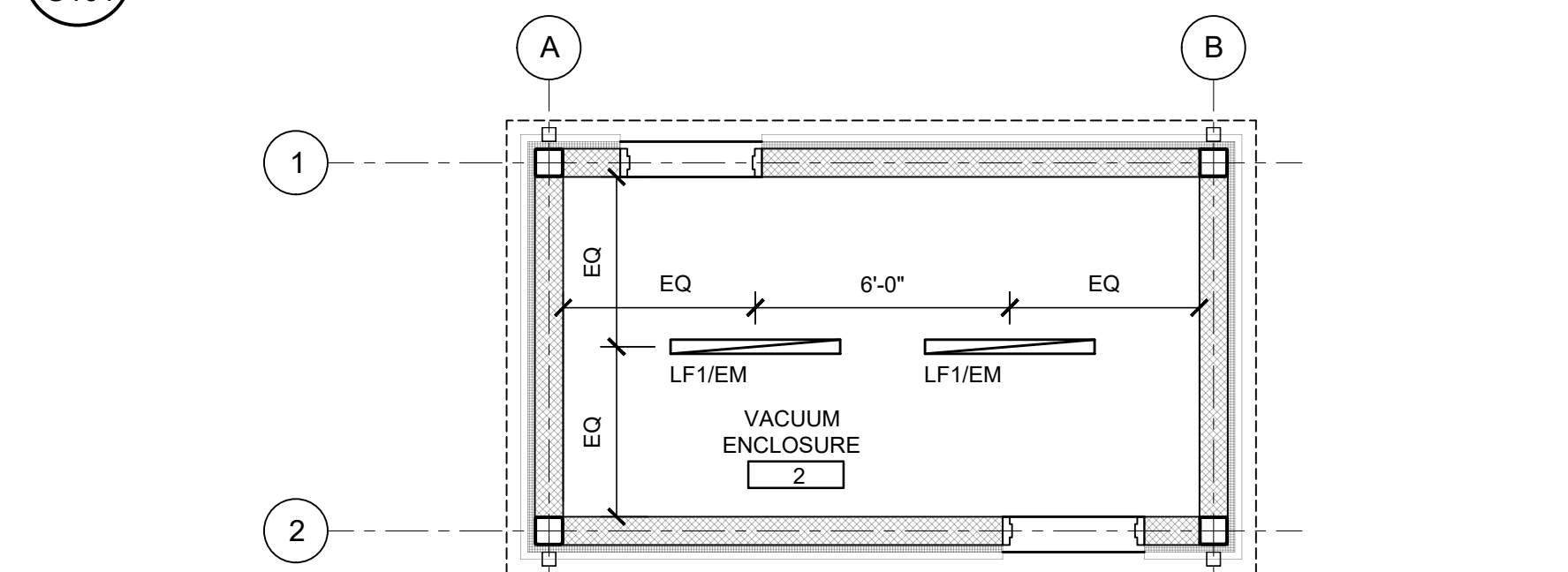
**10H VACUUM/ VENDING - SIDE ELEVATION**  
G101 1/4" = 1'-0"



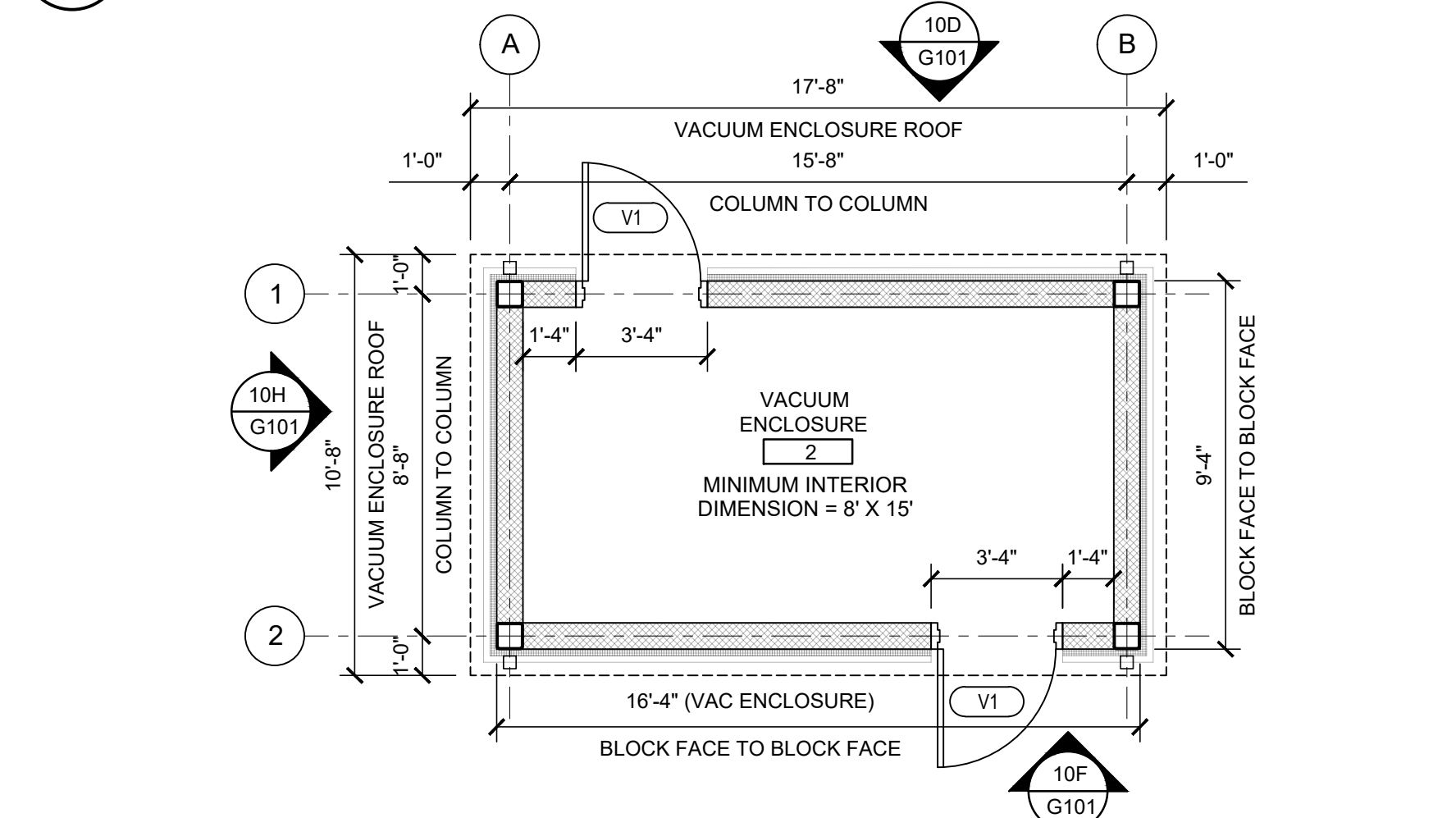
**10F VACUUM/ VENDING ENCLOSURE - REAR ELEVATION**  
G101 1/4" = 1'-0"



**10D VACUUM/ VENDING ENCLOSURE - FRONT ELEVATION**  
G101 1/4" = 1'-0"



**10C VACUUM/ VENDING ENCLOSURE - RCP**  
G101 1/4" = 1'-0"



**10A VACUUM/ VENDING ENCLOSURE - PLAN**  
G101 1/4" = 1'-0"

ARCHITECT

**SBLM**

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PROJECT



TIDAL WAVE AUTO SPA  
SITE #115  
PARCEL: 33-02-03-22-126-012  
4880 MARSH ROAD  
MERIDIAN TOWNSHIP  
INGHAM COUNTY, MICHIGAN

CLIENT

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FARMINGDALE, NY 11735

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BOHLER  
17 COMPUTER DRIVE WEST  
ALBANY, NY 12205  
518.438.8900

SEAL

**NOT FOR CONSTRUCTION**

PROJECT REVISIONS

ISSUED:	DECEMBER 14, 2022
REVISED:	DATE DESCRIPTION
-	12-14-22 ISSUE FOR REVIEW COLOR ELEVATIONS
-	- ISSUE FOR PERMIT CONSTRUCTION DOCUMENTS

PROJECT INFORMATION

**TIDAL WAVE**  
AUTO SPA

ADDRESS: 4880 MARSH ROAD  
MERIDIAN TOWNSHIP  
INGHAM COUNTY, MICHIGAN

PROJ. NO.: TWC114  
DRAWN BY: PMO CHECKED BY: ERT  
SHEET SIZE: 30" x 42"

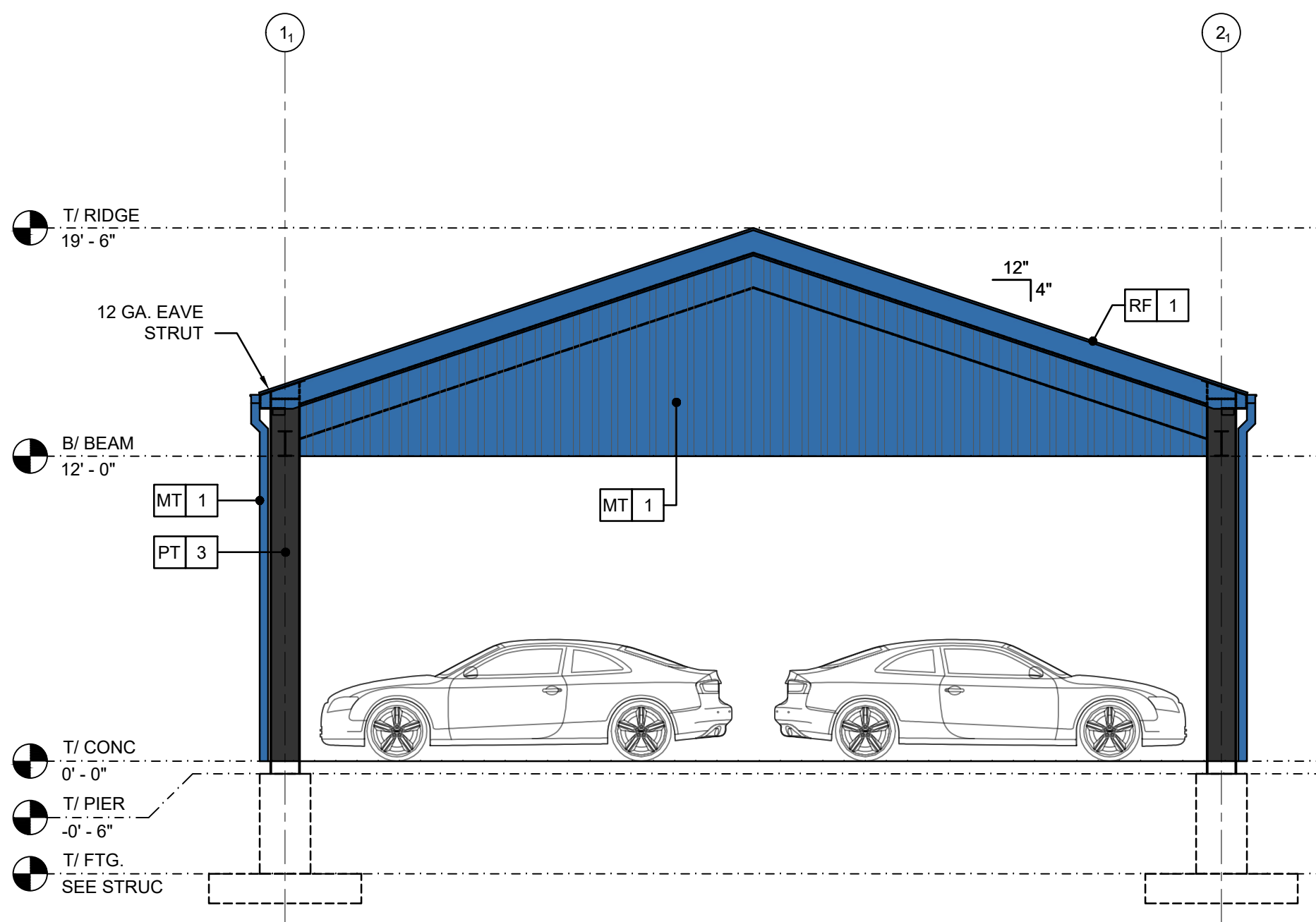
SHEET TITLE & NUMBER

**AUXILIARY BUILDINGS**

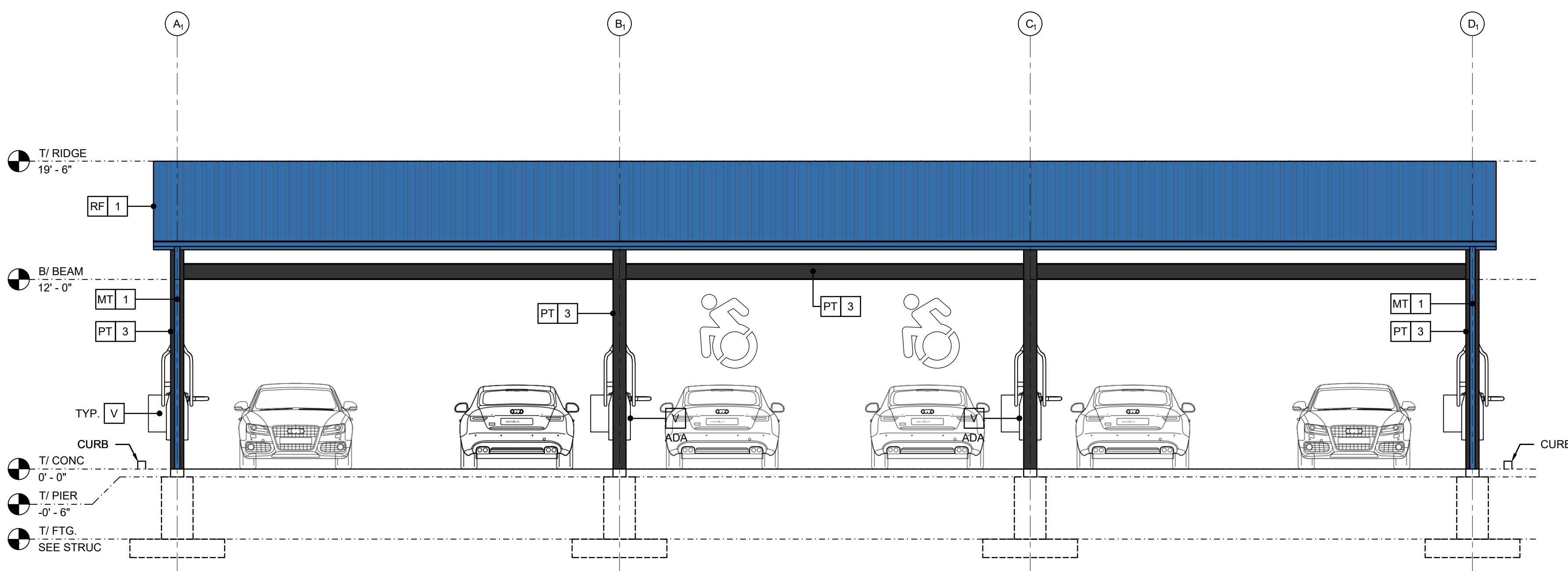
**G101**

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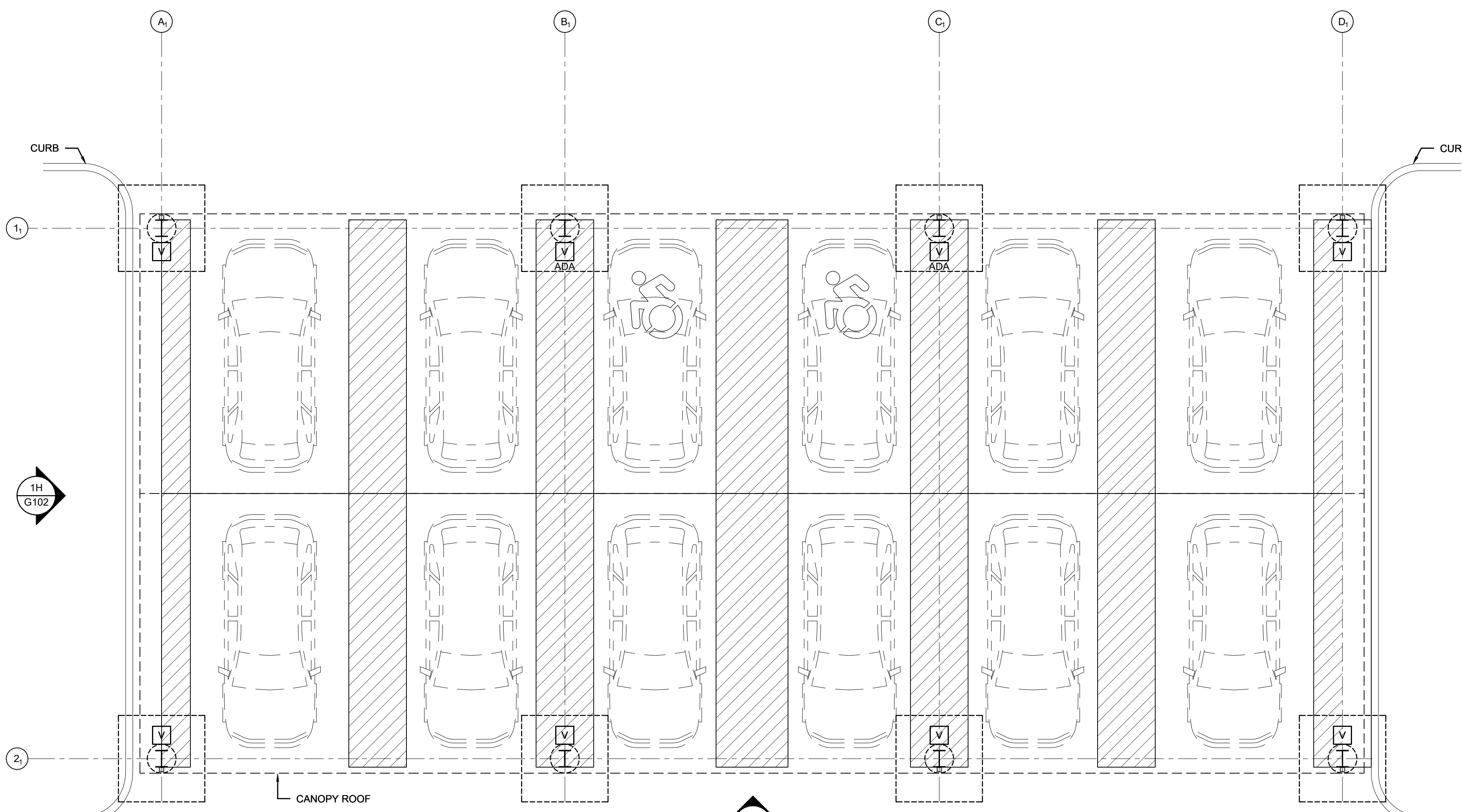




1H VACUUM CANOPY 1 - END ELEVATION  
3/16" = 1'-0"



1E VACUUM CANOPY 1 - SIDE ELEVATION  
3/16" = 1'-0"



1A VACUUM CANOPY 1 - PLAN  
3/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

<table border="1"> <tr><td>MARK</td><td>ST-1</td></tr> <tr><td>ITEM</td><td>SPLITFACE BLOCK VENEER</td></tr> <tr><td>MFR</td><td>ECHELON/ OLD CASTLE</td></tr> <tr><td>FINISH</td><td>TAN (OAK)</td></tr> <tr><td>STYLE</td><td>SPLITFACE</td></tr> <tr><td>NOTES</td><td>9" H X 16" L X 4" (NOMINAL)</td></tr> </table>	MARK	ST-1	ITEM	SPLITFACE BLOCK VENEER	MFR	ECHELON/ OLD CASTLE	FINISH	TAN (OAK)	STYLE	SPLITFACE	NOTES	9" H X 16" L X 4" (NOMINAL)	<table border="1"> <tr><td>MARK</td><td>PT-1</td></tr> <tr><td>ITEM</td><td>EXTERIOR PAINT</td></tr> <tr><td>MFR</td><td>SHERWIN WILLIAMS</td></tr> <tr><td>FINISH</td><td>SW 9102 QUINOA</td></tr> <tr><td>STYLE</td><td>ELASTOMERIC</td></tr> <tr><td>NOTES</td><td>LOUVERS &amp; MISC. METAL ITEMS ON EIFS PROVIDE CUSTOM COLOR EIFS TO MATCH PT-1</td></tr> </table>	MARK	PT-1	ITEM	EXTERIOR PAINT	MFR	SHERWIN WILLIAMS	FINISH	SW 9102 QUINOA	STYLE	ELASTOMERIC	NOTES	LOUVERS & MISC. METAL ITEMS ON EIFS PROVIDE CUSTOM COLOR EIFS TO MATCH PT-1	<table border="1"> <tr><td>MARK</td><td>SF-1</td></tr> <tr><td>ITEM</td><td>STOREFRONT</td></tr> <tr><td>MFR</td><td>KAWNEER</td></tr> <tr><td>FINISH</td><td>BRONZE</td></tr> <tr><td>STYLE</td><td>SMOOTH</td></tr> <tr><td>NOTES</td><td>STOREFRONT FRAMES</td></tr> </table>	MARK	SF-1	ITEM	STOREFRONT	MFR	KAWNEER	FINISH	BRONZE	STYLE	SMOOTH	NOTES	STOREFRONT FRAMES	<table border="1"> <tr><td>MARK</td><td>GL-1</td></tr> <tr><td>ITEM</td><td>INSULATED GLAZING</td></tr> <tr><td>MFR</td><td>KAWNEER</td></tr> <tr><td>FINISH</td><td>CLEAR</td></tr> <tr><td>STYLE</td><td>SMOOTH</td></tr> <tr><td>NOTES</td><td>STOREFRONT GLAZING</td></tr> </table>	MARK	GL-1	ITEM	INSULATED GLAZING	MFR	KAWNEER	FINISH	CLEAR	STYLE	SMOOTH	NOTES	STOREFRONT GLAZING
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NOTE:  
ALL GROUND AND ROOF-MOUNTED MECHANICAL UNITS WILL BE COMPLETELY SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND RIGHTS OF WAY.

ARCHITECT  
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PROJECT  
  
 TIDAL WAVE AUTO SPA  
 SITE #115  
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ISSUED:	DECEMBER 14, 2022	
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**TIDAL WAVE**  
 AUTO SPA  
 ADDRESS: 4880 MARSH ROAD  
 MERIDIAN TOWNSHIP  
 INGHAM COUNTY, MICHIGAN  
 PROJ. NO: TWC114  
 DRAWN BY: PMO CHECKED BY: ERT  
 SHEET SIZE: 30" x 42"

SHEET TITLE & NUMBER  
**VACUUM CANOPY**  
**G102**