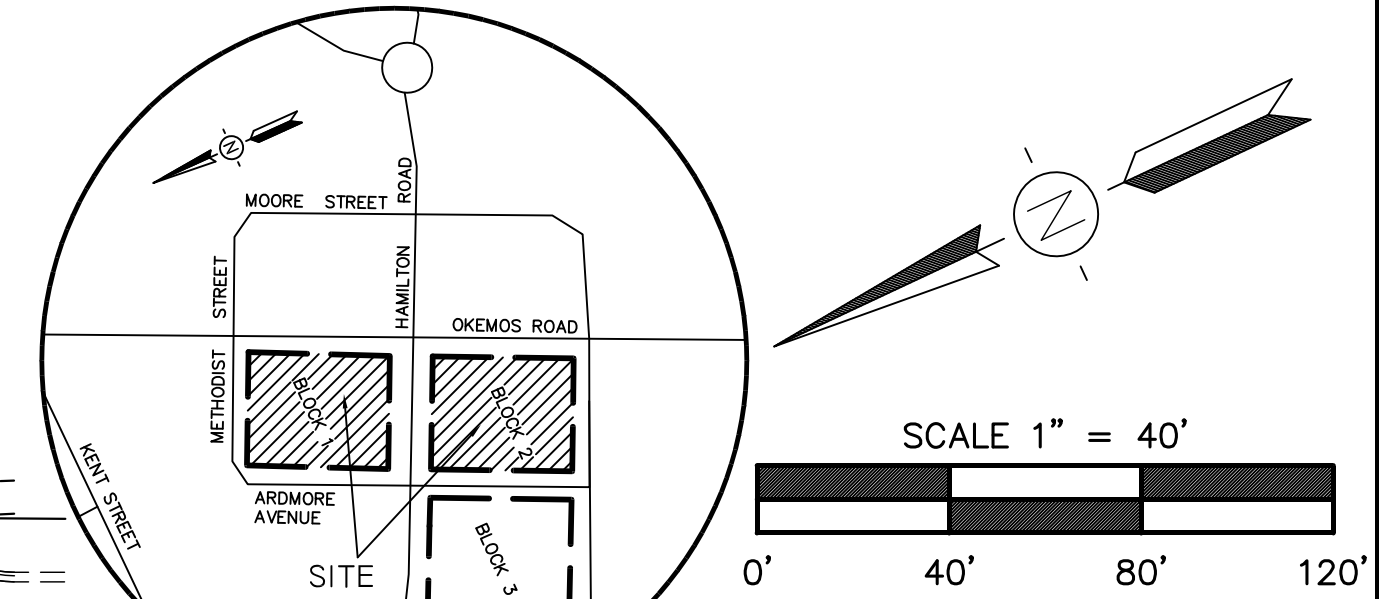


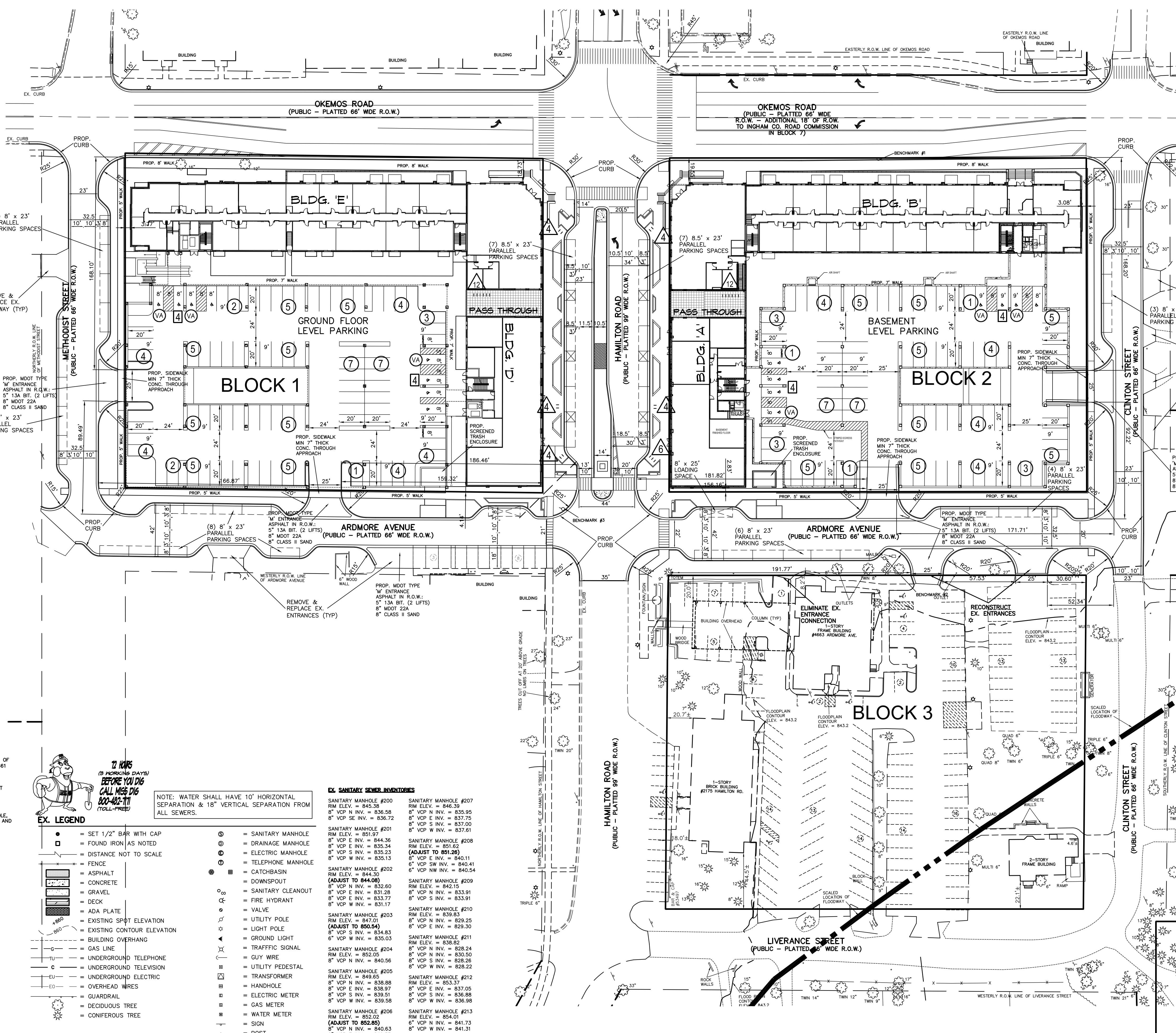
MUPUD PLANS FOR: Village of Okemos

MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN



EX. STORM SEWER INVENTORIES

CATCH BASIN #100 RIM ELEV. = 851.88 8" RCP N INV. = 847.69 TOP OF DEBRIS ELEV. = 847.66 SUMP ELEV. = 846.19	CATCH BASIN #126 (DEMO) RIM ELEV. = 846.24 6" PVC SE INV. = 846.15 TOP OF DEBRIS ELEV. = 846.10
STORM MANHOLE #101 RIM ELEV. = 852.39 12" RCP E INV. = 846.78 15" RCP S ELEV. = 846.59 TOP OF DEBRIS ELEV. = 846.75	CATCH BASIN #127 (DEMO) RIM ELEV. = 846.58 8" PVC N INV. = 844.49 SUMP ELEV. = 844.04
CATCH BASIN #102 RIM ELEV. = 851.85 12" RCP E INV. = 847.33 TOP OF DEBRIS ELEV. = 847.35	CATCH BASIN #128 (DEMO) RIM ELEV. = 844.24 8" VCP NE INV. = 844.05 8" PVC S INV. = 844.05 TOP OF DEBRIS ELEV. = 844.04
CATCH BASIN #103 (DEMO) RIM ELEV. = 852.09 SW RESTRICTOR PLATE INV. = 849.23 SW 12" SQUARE OPENING INV. = 849.13 SUMP ELEV. = 846.89	CATCH BASIN #129 (DEMO) RIM ELEV. = 848.81 4" S INV. = 845.28 12" RCP SW INV. = 845.19 SUMP ELEV. = 844.81
CATCH BASIN #104 (DEMO) RIM ELEV. = 851.00 8" RCP N INV. = 847.68 TOP OF WATER ELEV. = 847.68 SUMP ELEV. = 846.60	CATCH BASIN #130 (DEMO) RIM ELEV. = 846.88 (ADJUST TO 846.42) 12" RCP E INV. = 844.91 8" VCP SW INV. = 844.93 (REMOVE) SUMP ELEV. = 843.68 PROP. I.E. 12" NW/S 844.93
CATCH BASIN #105 (DEMO) RIM ELEV. = 849.67 6" VCP NE INV. = 845.07 8" RCP S INV. = 844.91 SUMP ELEV. = 844.17	CATCH BASIN #131 RIM ELEV. = 846.24 15" RCP N INV. = 840.99 10" RCP E INV. = 839.05 8" VCP SW INV. = 842.60 12" RCP W INV. = 843.06 SUMP ELEV. = 838.86
CATCH BASIN #106 (DEMO) RIM ELEV. = 850.60 8" VCP W TOP OF PIPE ELEV. = 849.12 TOP OF DEBRIS ELEV. = 848.80	CATCH BASIN #132 RIM ELEV. = 846.00 15" RCP S INV. = 841.09 SUMP ELEV. = 838.70
STORM MANHOLE #107 RIM ELEV. = 845.42 12" RCP NE INV. = 840.22 10" RCP NE INV. = 838.54 (REMOVE) 18" RCP S INV. = 837.26 PROP. I.E. 18" SE 838.75	STORM MANHOLE #133 RIM ELEV. = 846.58 12" RCP N INV. = 838.68 18" RCP E INV. = 834.69 12" RCP S INV. = 840.04 15" RCP W INV. = 838.23
CATCH BASIN #108 RIM ELEV. = 844.38 10" RCP N INV. = 840.43 10" RCP S INV. = 840.39 TOP OF DEBRIS ELEV. = 840.38	CATCH BASIN #134 RIM ELEV. = 846.71 TOP OF DEBRIS ELEV. = 845.41
CATCH BASIN #109 RIM ELEV. = 844.37 10" RCP S INV. = 840.72 TOP OF DEBRIS ELEV. = 840.47	STORM MANHOLE #135 RIM ELEV. = 846.67 12" RCP NE INV. = 840.73 12" RCP SE INV. = 842.62 SUMP ELEV. = 838.66
CATCH BASIN #110 (DEMO) RIM ELEV. = 844.72 12" RCP N INV. = 839.24 12" RCP SW INV. = 839.01 SUMP ELEV. = 836.12	CATCH BASIN #136 RIM ELEV. = 846.68 12" RCP E INV. = 843.69 12" RCP NW INV. = 842.89 SUMP ELEV. = 840.92
CATCH BASIN #111 (DEMO) RIM ELEV. = 844.68 12" RCP S INV. = 839.47 SUMP ELEV. = 836.06	STORM MANHOLE #137 RIM ELEV. = 846.55 12" RCP N INV. = 841.45 18" RCP N INV. = 833.92 24" RCP E INV. = 833.83 12" RCP SW INV. = 840.56 18" RCP W INV. = 834.37 SUMP ELEV. = 847.22
CATCH BASIN #112 (DEMO) RIM ELEV. = 847.30 6" VCP E INV. = 847.39 6" VCP W INV. = 847.22	CATCH BASIN #138 RIM ELEV. = 846.01 12" RCP S INV. = 841.59 SUMP ELEV. = 840.09
CATCH BASIN #113 (DEMO) RIM ELEV. = 851.08 6" VCP W INV. = 848.40 TOP OF DEBRIS ELEV. = 848.38	CATCH BASIN #140 RIM ELEV. = 836.40 8" PVC NW INV. = 836.40 SUMP ELEV. = 836.15
CATCH BASIN #114 (DEMO) RIM ELEV. = 850.35 6" VCP SW INV. = 848.23 TOP OF DEBRIS ELEV. = 848.23	STORM MANHOLE #141 RIM ELEV. = 839.97 18" RCP NW INV. = 834.70 18" RCP E INV. = 834.52 4" PVC SE INV. = 848.55 4" PVC SW INV. = 848.52 SUMP ELEV. = 848.43
CATCH BASIN #115 (DEMO) RIM ELEV. = 848.55 4" PVC SE INV. = 848.55 4" PVC SW INV. = 848.52 SUMP ELEV. = 848.43	STORM MANHOLE #142 RIM ELEV. = 841.24 12" RCP E INV. = 834.56 18" RCP S INV. = 834.18 18" RCP W INV. = 834.14
CATCH BASIN #116 (DEMO) RIM ELEV. = 850.06 12" RCP N INV. = 846.01 14" VCP NW INV. = 845.11 TOP OF DEBRIS ELEV. = 845.76	CATCH BASIN #143 RIM ELEV. = 846.02 10" RCP N INV. = 835.36 12" RCP NW INV. = 835.34 SUMP ELEV. = 835.02
CATCH BASIN #117 RIM ELEV. = 850.01 12" RCP NE INV. = 845.88 TOP OF DEBRIS ELEV. = 845.88	CATCH BASIN #144 RIM ELEV. = 841.65 6" PVC NE INV. = 840.41 4" PVC SE INV. = 838.15 10" RCP S INV. = 837.38 SUMP ELEV. = 836.75
STORM MANHOLE #118 RIM ELEV. = 849.82 (ADJUST TO 850.05) 12" RCP E INV. = 846.66 12" RCP SW INV. = 845.77 12" RCP W INV. = 845.77 (REMOVE) PROP. I.E. 12" W 845.77 TOP OF DEBRIS ELEV. = 845.86	STORM MANHOLE #145 RIM ELEV. = 837.27 18" RCP E INV. = 832.65 6" PVC S INV. = 832.97 18" RCP W INV. = 832.63
CATCH BASIN #119 RIM ELEV. = 849.25 12" RCP NW INV. = 845.94 SUMP ELEV. = 844.75	CATCH BASIN #146 RIM ELEV. = 836.82 6" PVC N INV. = 834.15 SUMP ELEV. = 833.47
STORM MANHOLE #120 RIM ELEV. = 849.59 12" RCP N INV. = 844.58 12" RCP SE INV. = 845.08 12" RCP W INV. = 844.74 SUMP ELEV. = 844.09	CATCH BASIN #147 RIM ELEV. = 837.62 12" RCP S INV. = 833.02 10" RCP W INV. = 833.13 TOP OF DEBRIS ELEV. = 833.47
STORM MANHOLE #121 RIM ELEV. = 849.28 12" RCP N INV. = 840.68 8" RCP NE INV. = 844.49 12" RCP E INV. = 840.65 12" RCP S INV. = 840.65 12" RCP W INV. = 843.19 8" RCP W INV. = 845.02	CATCH BASIN #148 RIM ELEV. = 838.03 10" RCP E INV. = 834.15 TOP OF DEBRIS ELEV. = 833.93 12" RCP S INV. = 833.93
CATCH BASIN #122 RIM ELEV. = 849.72 8" RCP E INV. = 845.86 SUMP ELEV. = 843.42 PROP. I.E. 12" W 845.86	CATCH BASIN #149 RIM ELEV. = 851.94 6" VCP N INV. = 847.59 6" VCP S INV. = 847.49 (ADJUST TO 849.30)
CATCH BASIN #123 RIM ELEV. = 849.30 8" RCP SW INV. = 844.59 TOP OF DEBRIS ELEV. = 844.33	CATCH BASIN #150 RIM ELEV. = 852.27 TOP OF DEBRIS INV. = 850.07



PARKING PROVIDED

BLOCK 1	GROUND FLOOR	= 90 SPACES (INCL 8 BF)
	UPPER LEVEL	= 104 SPACES (INCL 8 BF)
	TOTAL	= 194 SPACES
		= 24 BIKE PARKING
BLOCK 2	GROUND FLOOR	= 91 SPACES (INCL 8 BF)
	BASEMENT PARKING	= 90 SPACES (INCL 8 BF)
	TOTAL	= 181 SPACES
		= 26 BIKE PARKING
ON-STREET (8' x 23')		= 45 SPACES
TOTAL SPACES PROVIDED =		420 SPACES (INCL. 16 B.F.)
		50 BIKE PARKING
TOTAL REQUIRED SPACES =		404 SPACES

BENCHMARKS

BENCHMARK #1 ELEV. = 852.30 (NAV088)
PK NW, WEST SIDE UTILITY POLE, WEST SIDE OF OKEMOS ROAD, 242' SOUTH OF BUILDING #4681 OKEMOS ROAD.

BENCHMARK #2 ELEV. = 846.57 (NAV088)
PK NW, SOUTHEAST SIDE UTILITY POLE, WEST SIDE OF ARDMORE AVENUE, ON LINE WITH SOUTHERN PARALLEL LINE

BENCHMARK #3 ELEV. = 856.59 (NAV088)
RAILROAD SPIKE, NORTHWEST SIDE UTILITY POLE, NORTHEAST QUADRANT OF ARDMORE AVENUE AND HAMILTON ROAD.

EX. LEGEND

- SET 1/2" BAR WITH CAP
- FOUND IRON AS NOTED
- DISTANCE NOT TO SCALE
- FENCE
- ASPHALT
- CONCRETE
- GRAVEL
- DECK
- ADA PLATE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR ELEVATION
- BUILDING OVERHANG
- GAS LINE
- UNDERGROUND TELEPHONE
- UNDERGROUND TELEVISION
- UNDERGROUND ELECTRIC
- OVERHEAD WIRES
- GUARDRAIL
- DECIDUOUS TREE
- CENFEROUS TREE
- CENTER LINE OF ROAD
- RIGHT OF WAY
- PROPERTY LINE
- FIRE HYDRANT
- WATER VALVE
- THRUST BLOCK
- PROPOSED TOP OF CURB ELEV.

EX. SANITARY SEWER INVENTORIES

SANITARY MANHOLE #200 RIM ELEV. = 845.38 8" VCP N INV. = 836.58 8" VCP SE INV. = 836.72 8" VCP S INV. = 837.00 8" VCP W INV. = 837.61	SANITARY MANHOLE #207 RIM ELEV. = 845.38 8" VCP N INV. = 835.95 8" VCP E INV. = 837.75 8" VCP S INV. = 837.00 8" VCP W INV. = 837.61
SANITARY MANHOLE #201 RIM ELEV. = 851.97 8" VCP N INV. = 844.36 8" VCP S INV. = 835.23 8" VCP W INV. = 835.13	SANITARY MANHOLE #208 RIM ELEV. = 851.62 (ADJUST TO 851.26) 8" VCP E INV. = 840.11 8" VCP SW INV. = 840.41 8" VCP NW INV. = 840.54
SANITARY MANHOLE #202 RIM ELEV. = 844.36 (ADJUST TO 844.08) 8" VCP N INV. = 832.60 8" VCP E INV. = 831.28 8" VCP S INV. = 833.77 8" VCP W INV. = 831.17	SANITARY MANHOLE #209 RIM ELEV. = 842.15 8" VCP N INV. = 833.91 8" VCP S INV. = 833.91 8" VCP W INV. = 833.91
SANITARY MANHOLE #203 RIM ELEV. = 847.01 (ADJUST TO 850.54) 8" VCP S INV. = 834.83 6" VCP W INV. = 835.03	SANITARY MANHOLE #210 RIM ELEV. = 839.83 8" VCP E INV. = 829.25 8" VCP S INV. = 829.30
SANITARY MANHOLE #204 RIM ELEV. = 852.05 8" VCP N INV. = 840.56	SANITARY MANHOLE #211 RIM ELEV. = 838.82 8" VCP N INV. = 828.24 8" VCP S INV. = 830.50 8" VCP W INV. = 828.26 8" VCP W INV. = 828.22
SANITARY MANHOLE #205 RIM ELEV. = 849.65 8" VCP N INV. = 838.88 8" VCP E INV. = 838.97 8" VCP S INV. = 839.51 8" VCP W INV. = 839.58	SANITARY MANHOLE #212 RIM ELEV. = 853.37 8" VCP E INV. = 837.05 8" VCP S INV. = 836.88 8" VCP W INV. = 836.98
SANITARY MANHOLE #206 RIM ELEV. = 852.02 (ADJUST TO 852.85) 8" VCP N INV. = 840.83 8" VCP E INV. = 840.33 8" VCP S INV. = 840.71	SANITARY MANHOLE #213 RIM ELEV. = 854.01 8" VCP N INV. = 841.73 8" VCP W INV. = 841.31

NOTE: WATER SHALL HAVE 10" HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.

EX. LEGEND

- DENOTES NUMBER OF EXISTING PARKING SPACES
- DENOTES NUMBER OF B/F SPACES
- VA DENOTES VAN ACCESS B/F SPACES
- DENOTES PROPOSED NUMBER OF 9' x 20' PARKING SPACES
- DENOTES PROPOSED NUMBER OF 10' x 18' PARKING SPACES
- △ DENOTES NUMBER OF BIKE PARKING SPACES

STATE OF MICHIGAN
ALLEN J. PATRICK
ENGINEER
NO. 49313
LICENSED PROFESSIONAL ENGINEER

REVISIONS

1-31-22 SUBMITTAL	AJP
6-7-22 PRELIM	AJP
8-29-22 MUPUD	

KEBS, INC. KYES ENGINEERING
2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047

Marshall Office
Ph. 269-781-9800

Village of Okemos
DIMENSION PLAN - LOWER LEVEL PARKING

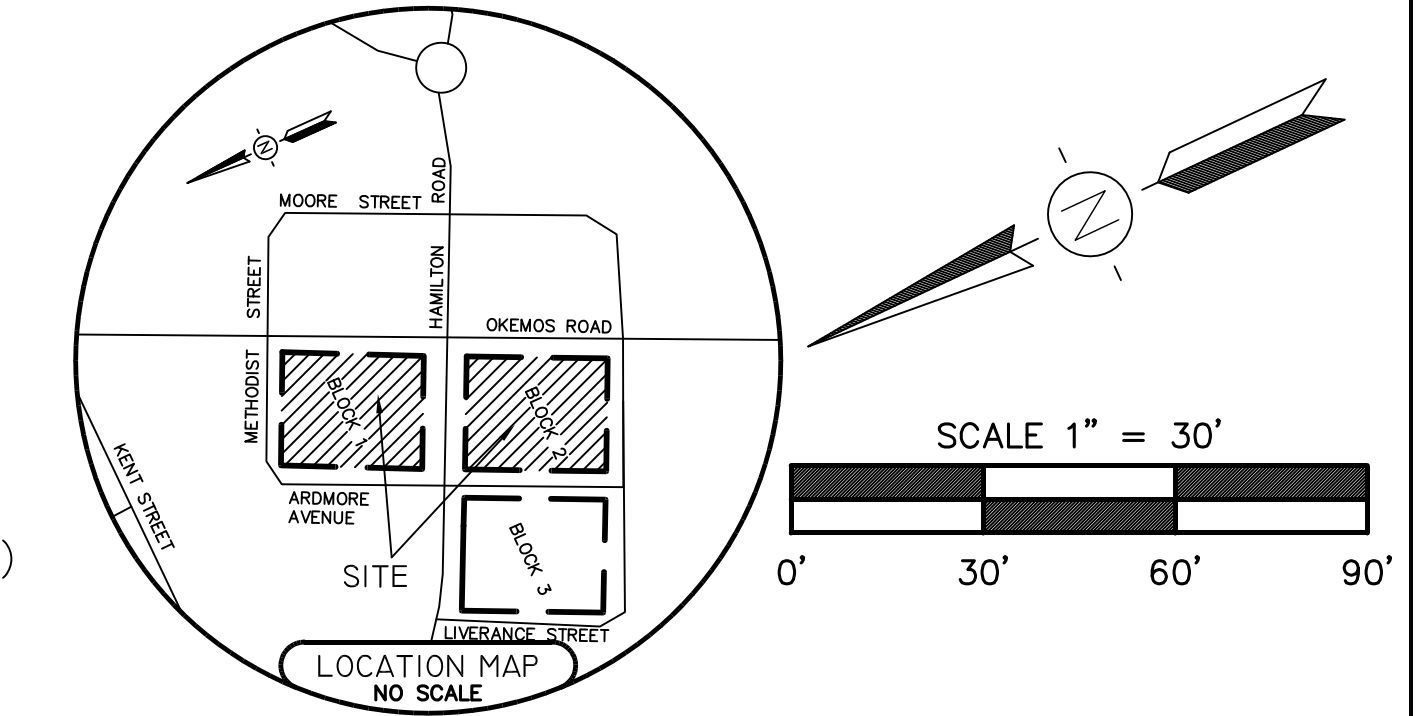
SCALE: 1" = 40'	DESIGNER: AJP	APPROVED BY: AJP
DATE: 4-14-19	PROJECT MGR. AJP	SHEET 2 OF 8
AUTHORIZED BY: DOWNTOWN OKEMOS, LLC	JOB #:	99191

E-93725-MUPUD-4-12-19
SURVEY#93725ALT

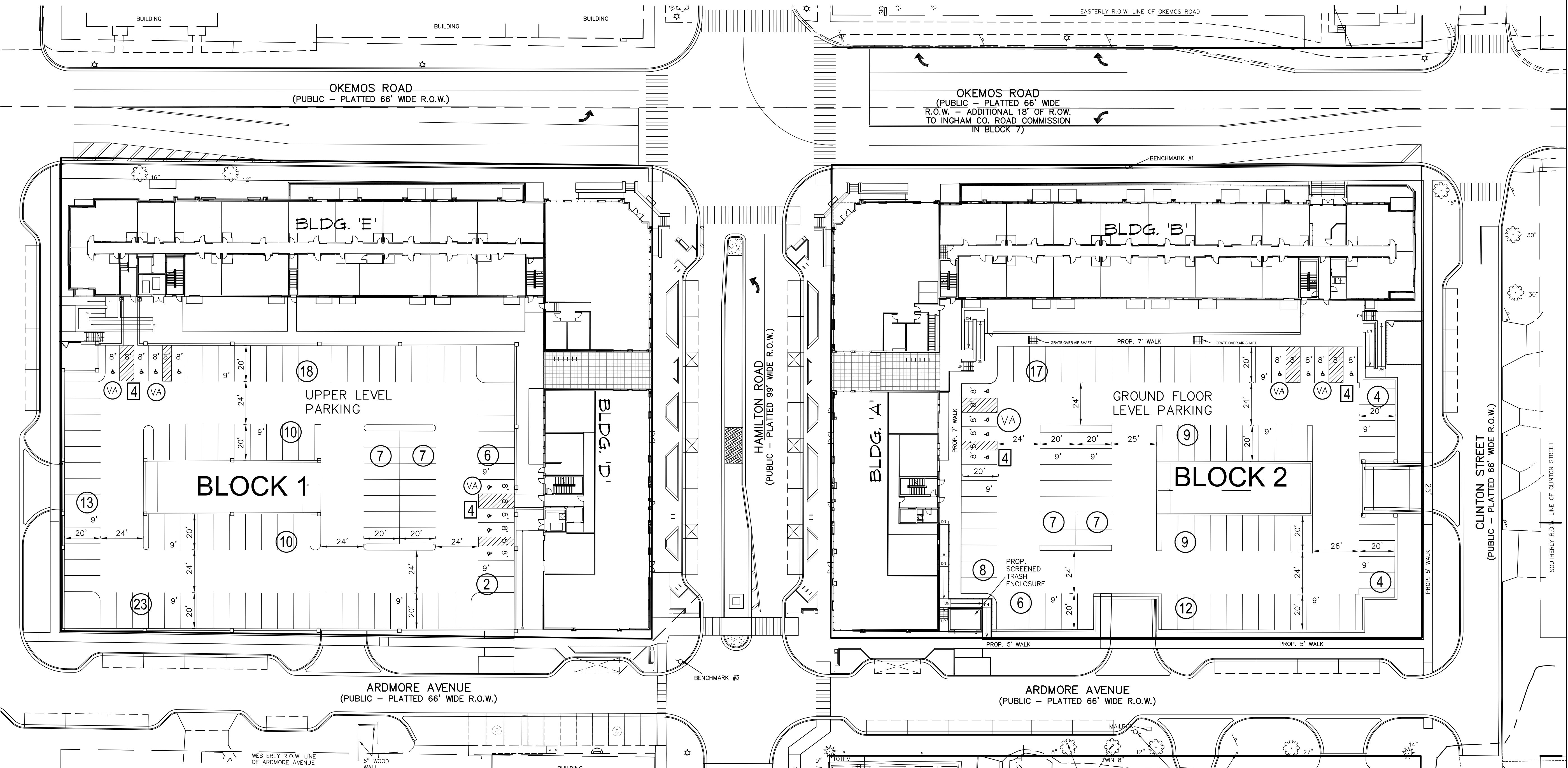
MUPUD PLANS FOR:
Village of Okemos
 MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

PARKING PROVIDED

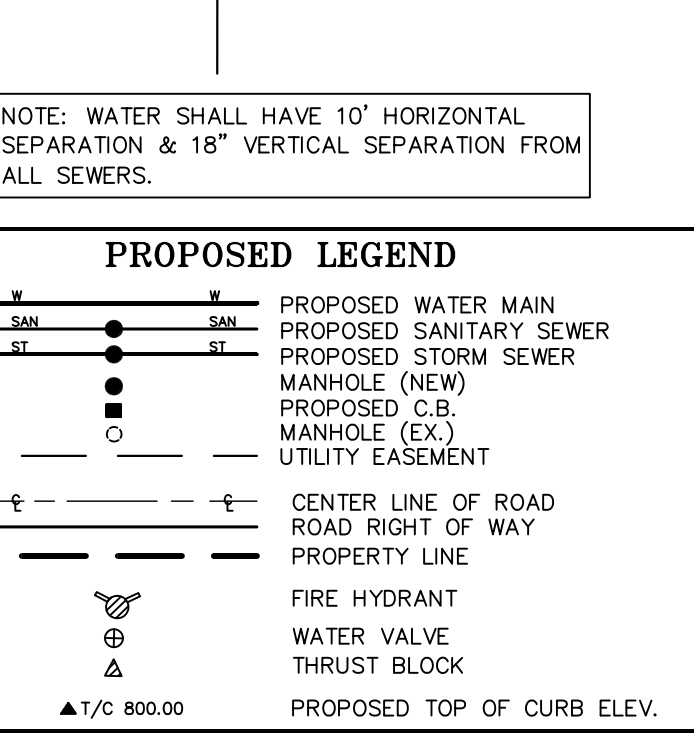
BLOCK 1	GROUND FLOOR = 90 SPACES (INCL 8 BF)
	UPPER LEVEL = 104 SPACES (INCL 8 BF)
	TOTAL = 194 SPACES
	24 BIKE PARKING
BLOCK 2	GROUND FLOOR = 91 SPACES (INCL 8 BF)
	BASEMENT PARKING = 90 SPACES (INCL 8 BF)
	TOTAL = 181 SPACES
	26 BIKE PARKING
ON-STREET (8' x 23')	= 45 SPACES
TOTAL SPACES PROVIDED =	420 SPACES (INCL. 16 B.F.)
	50 BIKE PARKING
TOTAL REQUIRED SPACES =	404 SPACES



- EX. STORM SEWER INVENTORIES**
- CATCH BASIN #100
RM ELEV. = 851.88
6" PVC SE INV. = 847.69
TOP OF DEBRIS ELEV. = 847.66
SUMP ELEV. = 846.19
 - STORM MANHOLE #101
RM ELEV. = 848.24
12" RCP E INV. = 846.78
15" RCP S INV. = 846.59
12" RCP W INV. = 846.90
TOP OF DEBRIS ELEV. = 846.75
 - CATCH BASIN #102
RM ELEV. = 851.85
12" RCP E INV. = 847.33
TOP OF DEBRIS ELEV. = 847.35
 - CATCH BASIN #103 (DEMO)
RM ELEV. = 852.09
SW RESTRICTOR PLATE INV. = 849.23
SW 12" SQUARE OPENING INV. = 848.13
SUMP ELEV. = 846.89
 - CATCH BASIN #104 (DEMO)
RM ELEV. = 851.00
6" RCP N INV. = 847.68
TOP OF WATER ELEV. = 847.68
SUMP ELEV. = 846.60
 - CATCH BASIN #105 (DEMO)
RM ELEV. = 849.67
6" VCP NE INV. = 845.07
8" RCP S INV. = 844.91
SUMP ELEV. = 844.17
 - CATCH BASIN #106 (DEMO)
RM ELEV. = 850.60
6" PVC W TOP OF PIPE ELEV. = 849.12
TOP OF DEBRIS ELEV. = 848.80
 - STORM MANHOLE #107
RM ELEV. = 845.42
10" RCP N INV. = 840.22
12" RCP NE INV. = 838.54
18" RCP W INV. = 837.26
PROP. I.E. 12" W 845.21
 - CATCH BASIN #108
RM ELEV. = 844.38
10" RCP N INV. = 840.43
10" RCP S INV. = 840.39
TOP OF DEBRIS ELEV. = 840.38
 - CATCH BASIN #109
RM ELEV. = 844.37
12" RCP S INV. = 840.72
TOP OF DEBRIS ELEV. = 840.47
 - CATCH BASIN #110 (DEMO)
RM ELEV. = 844.72
12" RCP N INV. = 839.24
12" RCP SW INV. = 839.01
SUMP ELEV. = 838.12
 - CATCH BASIN #111 (DEMO)
RM ELEV. = 844.66
12" RCP S INV. = 839.47
SUMP ELEV. = 838.06
 - CATCH BASIN #112 (DEMO)
RM ELEV. = 850.32
6" VCP E INV. = 847.30
6" VCP W INV. = 847.39
SUMP ELEV. = 847.22
 - CATCH BASIN #113 (DEMO)
RM ELEV. = 851.08
6" VCP W INV. = 848.40
TOP OF DEBRIS ELEV. = 848.38
 - CATCH BASIN #114 (DEMO)
RM ELEV. = 850.55
6" VCP SW INV. = 848.23
TOP OF DEBRIS ELEV. = 848.23
 - CATCH BASIN #115 (DEMO)
RM ELEV. = 850.68
4" PVC SE INV. = 846.55
6" PVC SW INV. = 848.52
SUMP ELEV. = 848.43
 - CATCH BASIN #116 (DEMO)
RM ELEV. = 850.06
12" RCP NE INV. = 846.01
4" PVC NW INV. = 848.11
TOP OF DEBRIS ELEV. = 845.76
 - CATCH BASIN #117
RM ELEV. = 850.01
12" RCP E INV. = 845.88
TOP OF DEBRIS ELEV. = 845.88
 - STORM MANHOLE #118
RM ELEV. = 849.82
12" RCP E INV. = 845.66
12" RCP SW INV. = 845.77
TOP OF DEBRIS ELEV. = 845.86
PROP. I.E. 12" W 845.77
 - CATCH BASIN #119
RM ELEV. = 849.25
12" RCP NW INV. = 845.94
SUMP ELEV. = 844.78
 - STORM MANHOLE #120
RM ELEV. = 849.59
12" RCP N INV. = 844.58
12" RCP SE INV. = 845.08
12" RCP W INV. = 844.74
SUMP ELEV. = 844.09
 - STORM MANHOLE #121
RM ELEV. = 849.58
12" RCP N INV. = 840.68
8" RCP NE INV. = 844.49
12" RCP E INV. = 840.65
12" RCP S INV. = 840.65
12" RCP SW INV. = 843.19
8" RCP W INV. = 845.02
 - CATCH BASIN #122
RM ELEV. = 849.72
8" RCP E INV. = 845.86
SUMP ELEV. = 845.32
PROP. I.E. 12" W 845.86
 - CATCH BASIN #123
RM ELEV. = 849.30
8" RCP SW INV. = 844.59
TOP OF DEBRIS ELEV. = 844.33
 - CATCH BASIN #124
RM ELEV. = 848.90
8" METAL E INV. = 841.49
12" RCP S INV. = 841.49
8" RCP W INV. = 845.11
SUMP ELEV. = 841.69
 - CATCH BASIN #125
RM ELEV. = 848.84
8" RCP E INV. = 845.44
6" PVC NW INV. = 845.49
SUMP ELEV. = 845.24



- EX. LEGEND**
- SET 1/2" BAR WITH CAP
 - FOUND IRON AS NOTED
 - DISTANCE NOT TO SCALE
 - FENCE
 - ASPHALT
 - CONCRETE
 - GRAVEL
 - DECK
 - ADA PLATE
 - EXISTING SPOT ELEVATION
 - EXISTING CONTOUR ELEVATION
 - BUILDING OVERHANG
 - GAS LINE
 - UNDERGROUND TELEPHONE
 - UNDERGROUND TELEVISION
 - UNDERGROUND ELECTRIC
 - OVERHEAD WIRES
 - RAILROAD
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - SANITARY MANHOLE
 - DRAINAGE MANHOLE
 - ELECTRIC MANHOLE
 - TELEPHONE MANHOLE
 - CATCHBASIN
 - DOWNSPOUT
 - SANITARY CLEANOUT
 - FIRE HYDRANT
 - VALVE
 - UTILITY POLE
 - LIGHT POLE
 - GROUND LIGHT
 - TRAFFIC SIGNAL
 - GUY WIRE
 - UTILITY PEDESTAL
 - TRANSFORMER
 - HANDHOLE
 - ELECTRIC METER
 - GAS METER
 - WATER METER
 - SOIL
 - POST
 - AIR CONDITIONING UNIT



- BENCHMARKS**
- BENCHMARK #1 ELEV. = 852.30 (NAVD88)
PK NAIL, WEST SIDE UTILITY POLE, WEST SIDE OF OKEMOS ROAD, ±42' SOUTH OF BUILDING #4661 OKEMOS ROAD.
 - BENCHMARK #2 ELEV. = 846.57 (NAVD88)
PK NAIL, SOUTHEAST SIDE UTILITY POLE, WEST SIDE OF ARDMORE AVENUE, ON LINE WITH SOUTHERLY PARCEL LINE.
 - BENCHMARK #3 ELEV. = 856.59 (NAVD88)
RAILROAD SPIKE, NORTHWEST SIDE UTILITY POLE, NORTHEAST QUADRANT OF ARDMORE AVENUE AND HAMILTON ROAD.

- EX. SANITARY SEWER INVENTORIES**
- SANITARY MANHOLE #200
RM ELEV. = 845.38
8" VCP N INV. = 836.58
8" VCP SE INV. = 836.72
 - SANITARY MANHOLE #201
RM ELEV. = 851.97
8" VCP E INV. = 844.36
8" VCP N INV. = 835.34
8" VCP S INV. = 835.23
8" VCP W INV. = 835.13
 - SANITARY MANHOLE #202
RM ELEV. = 844.30
6" VCP N INV. = 832.60
8" VCP E INV. = 831.28
8" VCP S INV. = 833.77
8" VCP W INV. = 831.17
 - SANITARY MANHOLE #203
RM ELEV. = 847.01
8" VCP S INV. = 834.83
6" VCP W INV. = 835.03
 - SANITARY MANHOLE #204
RM ELEV. = 852.05
8" VCP N INV. = 840.56
 - SANITARY MANHOLE #205
RM ELEV. = 849.85
8" VCP N INV. = 838.88
8" VCP E INV. = 838.97
8" VCP S INV. = 839.51
8" VCP W INV. = 839.58
 - SANITARY MANHOLE #206
RM ELEV. = 852.02
8" VCP N INV. = 840.63
8" VCP E INV. = 840.33
8" VCP S INV. = 840.71
 - SANITARY MANHOLE #207
RM ELEV. = 846.39
8" VCP E INV. = 835.95
8" VCP N INV. = 837.75
8" VCP S INV. = 837.00
8" VCP W INV. = 837.61
 - SANITARY MANHOLE #208
RM ELEV. = 851.62
8" VCP E INV. = 840.11
6" VCP SW INV. = 840.54
 - SANITARY MANHOLE #209
RM ELEV. = 849.55
8" VCP N INV. = 833.91
8" VCP S INV. = 829.25
8" VCP E INV. = 829.30
8" VCP W INV. = 828.24
 - SANITARY MANHOLE #210
RM ELEV. = 839.83
8" VCP N INV. = 829.25
8" VCP E INV. = 829.30
8" VCP S INV. = 828.26
8" VCP W INV. = 828.22
 - SANITARY MANHOLE #211
RM ELEV. = 840.63
8" VCP N INV. = 840.71
8" VCP S INV. = 830.50
8" VCP W INV. = 828.22
 - SANITARY MANHOLE #212
RM ELEV. = 853.37
8" VCP E INV. = 837.05
8" VCP S INV. = 836.88
8" VCP W INV. = 836.98
 - SANITARY MANHOLE #213
RM ELEV. = 854.01
6" VCP N INV. = 841.73
8" VCP W INV. = 841.31

- ① DENOTES NUMBER OF EXISTING PARKING SPACES
- 1 DENOTES NUMBER OF B/F SPACES
- VA DENOTES VAN ACCESS B/F SPACES
- DENOTES PROPOSED NUMBER OF 9' x 20' PARKING SPACES

REVISIONS
 8-29-22 MUPUD

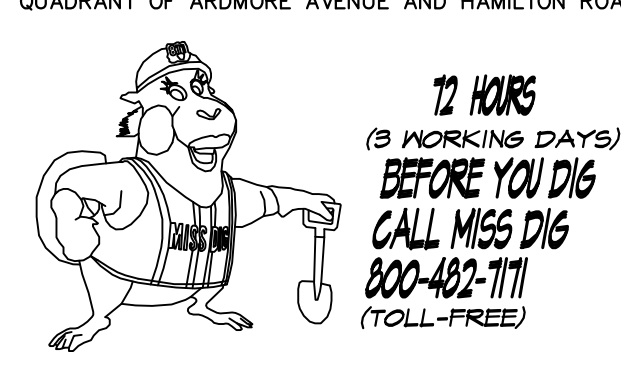
KEBS, INC. KYES ENGINEERING
 BRYAN LAND SURVEYS
 2116 HASLETT ROAD, HASLETT, MI 48840
 PH. 517-339-1014 FAX. 517-339-8047
 Marshall Office
 Ph. 269-781-9800

Village of Okemos
 DIMENSION PLAN - UPPER LEVEL PARKING

SCALE: 1" = 40'
 DATE: 4-14-19
 AUTHORIZED BY: DOWNTOWN OKEMOS, LLC

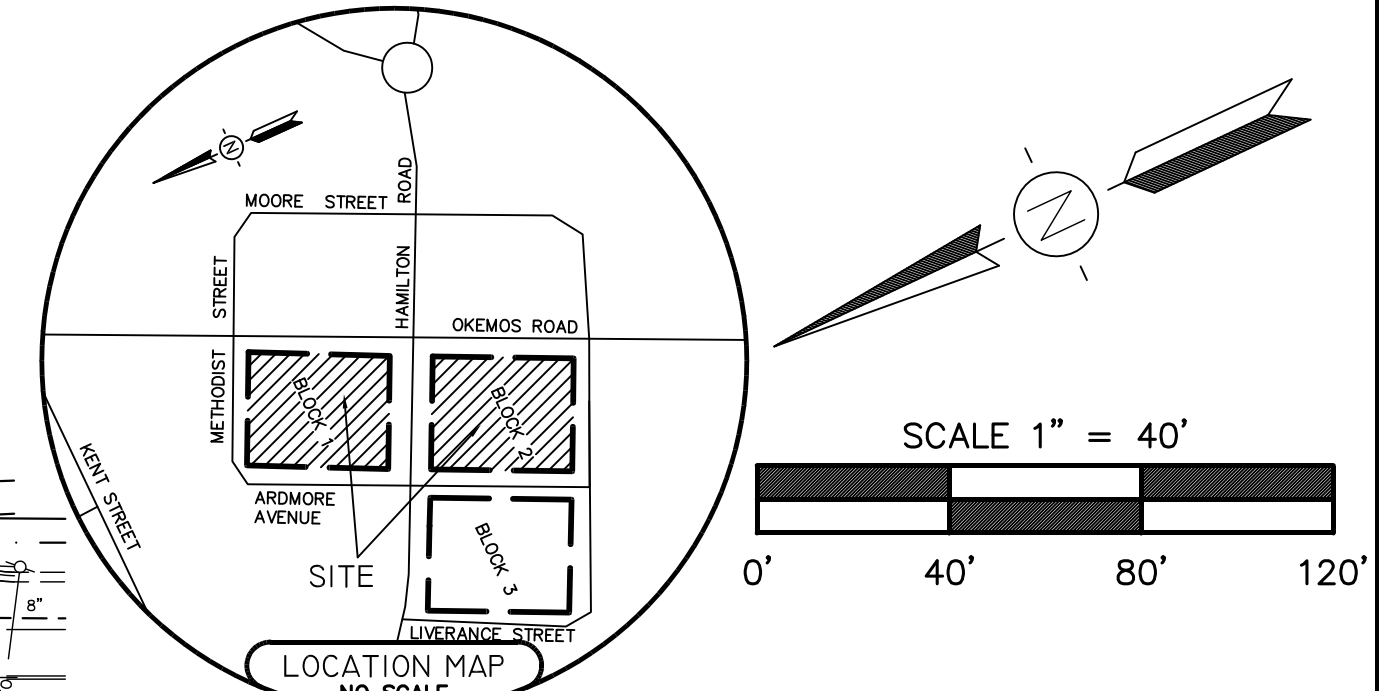
DESIGNER: A.J.P.
 PROJECT MGR. A.J.P.
 JOB # 99191

APPROVED BY: A.J.P.
 SHEET 3 OF 8
 JOB # 99191



MUPUD PLANS FOR: Village of Okemos

MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN



EX. STORM SEWER INVENTORIES

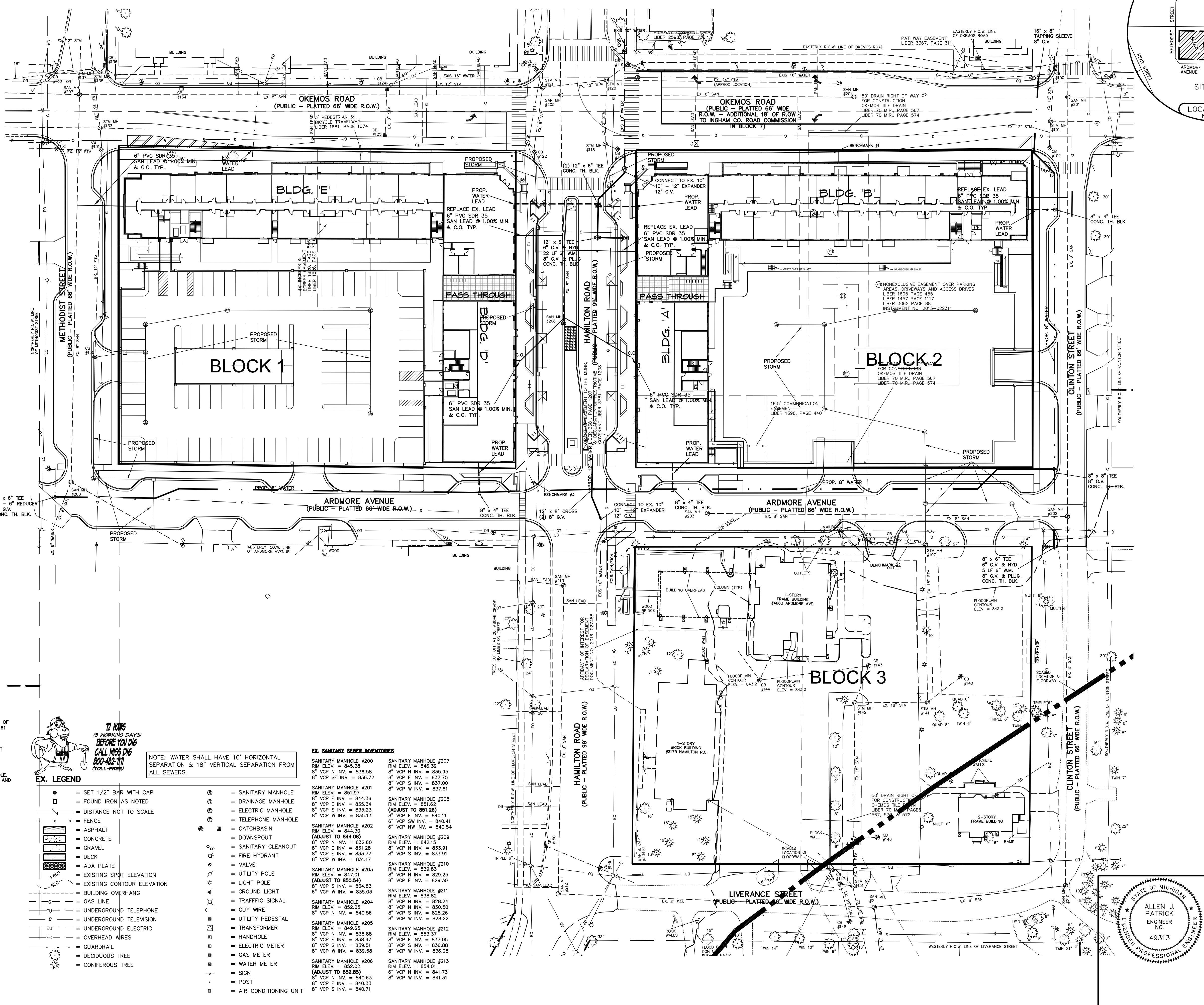
CATCH BASIN #100 RM ELEV. = 851.88 8" RCP N INV. = 847.69 TOP OF DEBRIS ELEV. = 847.66 SUMP ELEV. = 846.19	CATCH BASIN #126 (DEMO) RM ELEV. = 846.24 6" PVC SE INV. = 846.15 TOP OF DEBRIS ELEV. = 846.10
STORM MANHOLE #101 RM ELEV. = 852.29 12" RCP E INV. = 846.78 15" RCP S ELEV. = 846.59 12" RCP W INV. = 846.90 TOP OF DEBRIS ELEV. = 846.75	CATCH BASIN #127 (DEMO) RM ELEV. = 846.50 8" PVC N INV. = 844.49 SUMP ELEV. = 844.04
CATCH BASIN #102 RM ELEV. = 851.85 12" RCP E INV. = 847.33 TOP OF DEBRIS ELEV. = 847.35	CATCH BASIN #128 (DEMO) RM ELEV. = 847.24 8" VCP NE INV. = 844.05 8" PVC S INV. = 844.05 TOP OF DEBRIS ELEV. = 844.04
CATCH BASIN #103 (DEMO) RM ELEV. = 848.81 4" S INV. = 845.28 SW RESTRICTOR PLATE INV. = 849.23 12" SQUARE OPENING INV. = 849.13 SUMP ELEV. = 846.89	CATCH BASIN #129 (DEMO) RM ELEV. = 848.81 4" S INV. = 845.28 SW RESTRICTOR PLATE INV. = 849.23 12" SQUARE OPENING INV. = 849.13 SUMP ELEV. = 846.89
CATCH BASIN #104 (DEMO) RM ELEV. = 851.00 8" RCP N INV. = 847.68 TOP OF WATER ELEV. = 847.68 SUMP ELEV. = 846.60	CATCH BASIN #130 (ADJUST TO 849.42) RM ELEV. = 844.91 12" RCP E INV. = 844.91 8" VCP SW INV. = 842.60 SUMP ELEV. = 843.93 PROP. I.E. 12" NW/S 844.93
CATCH BASIN #105 (DEMO) RM ELEV. = 849.67 6" VCP NE INV. = 845.07 8" RCP N INV. = 844.17 SUMP ELEV. = 841.17	CATCH BASIN #131 RM ELEV. = 846.24 15" RCP N INV. = 840.99 10" RCP S INV. = 842.60 12" RCP SW INV. = 842.60 SUMP ELEV. = 838.96
CATCH BASIN #106 (DEMO) RM ELEV. = 850.60 8" VCP W TOP OF PIPE ELEV. = 849.12 TOP OF DEBRIS ELEV. = 848.80	CATCH BASIN #132 RM ELEV. = 846.00 15" RCP S INV. = 841.09 12" RCP NE INV. = 846.58 12" RCP N INV. = 838.88 18" RCP E INV. = 834.69 12" RCP S INV. = 840.04 15" RCP W INV. = 838.23
STORM MANHOLE #107 RM ELEV. = 845.42 10" RCP NE INV. = 840.22 12" RCP N INV. = 838.54 (REMOVE) 18" RCP S INV. = 837.26 PROP. I.E. 18" SE 838.75	CATCH BASIN #133 RM ELEV. = 846.58 12" RCP N INV. = 838.88 12" RCP S INV. = 840.04 15" RCP W INV. = 838.23
CATCH BASIN #108 RM ELEV. = 844.38 10" RCP N INV. = 840.43 10" RCP S INV. = 840.39 TOP OF DEBRIS ELEV. = 840.38	STORM MANHOLE #134 RM ELEV. = 846.71 TOP OF DEBRIS ELEV. = 845.41
CATCH BASIN #109 RM ELEV. = 844.37 10" RCP S INV. = 840.72 TOP OF DEBRIS ELEV. = 840.47	STORM MANHOLE #135 RM ELEV. = 846.67 12" RCP NE INV. = 840.73 12" RCP SE INV. = 842.62 SUMP ELEV. = 838.96
CATCH BASIN #110 (DEMO) RM ELEV. = 844.72 12" RCP N INV. = 839.24 12" RCP SW INV. = 839.01 SUMP ELEV. = 838.12	CATCH BASIN #136 RM ELEV. = 846.68 12" RCP E INV. = 843.69 12" RCP NW INV. = 842.89 SUMP ELEV. = 840.92
CATCH BASIN #111 (DEMO) RM ELEV. = 844.68 12" RCP S INV. = 839.47 SUMP ELEV. = 839.06	STORM MANHOLE #137 RM ELEV. = 846.55 12" RCP N INV. = 841.45 18" RCP N INV. = 833.92 24" RCP E INV. = 833.83 12" RCP SW INV. = 840.56 18" RCP W INV. = 834.37
CATCH BASIN #112 (DEMO) RM ELEV. = 850.32 4" VCP E INV. = 847.30 6" VCP N INV. = 847.39 SUMP ELEV. = 847.22	CATCH BASIN #138 RM ELEV. = 846.01 12" RCP S INV. = 841.59 SUMP ELEV. = 840.09
CATCH BASIN #113 (DEMO) RM ELEV. = 851.08 6" VCP W INV. = 848.40 TOP OF DEBRIS ELEV. = 848.38	CATCH BASIN #140 RM ELEV. = 838.40 8" PVC NW INV. = 836.40 SUMP ELEV. = 836.15
CATCH BASIN #114 (DEMO) RM ELEV. = 850.35 6" VCP SW INV. = 848.23 TOP OF DEBRIS ELEV. = 848.23	STORM MANHOLE #141 RM ELEV. = 839.97 18" RCP NW INV. = 834.70 18" RCP E INV. = 834.52 6" PVC SE INV. = 835.11
CATCH BASIN #115 (DEMO) RM ELEV. = 850.89 4" PVC SE INV. = 848.55 6" PVC SW INV. = 848.52 SUMP ELEV. = 848.43	STORM MANHOLE #142 RM ELEV. = 841.24 12" RCP SE INV. = 834.56 18" RCP S INV. = 834.18 18" RCP W INV. = 834.14
CATCH BASIN #116 (DEMO) RM ELEV. = 850.06 12" RCP NE INV. = 846.01 4" VCP NW INV. = 848.11 TOP OF DEBRIS ELEV. = 845.76	CATCH BASIN #143 RM ELEV. = 840.02 10" RCP N INV. = 835.36 12" RCP NW INV. = 835.34 SUMP ELEV. = 835.02
CATCH BASIN #117 RM ELEV. = 850.01 12" RCP NE INV. = 845.88 TOP OF DEBRIS ELEV. = 845.88	CATCH BASIN #144 RM ELEV. = 841.65 6" PVC NE INV. = 840.41 4" PVC SE INV. = 838.15 10" RCP S INV. = 837.38 SUMP ELEV. = 836.75
CATCH BASIN #118 RM ELEV. = 849.82 (ADJUST TO 850.05) 12" RCP E INV. = 845.66 12" RCP SW INV. = 845.77 12" RCP W INV. = 845.77 (REMOVE) PROP. I.E. 12" W 845.77	STORM MANHOLE #145 RM ELEV. = 837.27 18" RCP E INV. = 832.65 6" PVC S INV. = 832.97 18" RCP W INV. = 832.63
CATCH BASIN #119 RM ELEV. = 849.25 12" RCP NW INV. = 845.94 SUMP ELEV. = 844.75	CATCH BASIN #146 RM ELEV. = 836.82 6" PVC N INV. = 834.15 SUMP ELEV. = 833.47
STORM MANHOLE #120 RM ELEV. = 849.59 12" RCP N INV. = 844.58 12" RCP SE INV. = 845.08 12" RCP W INV. = 844.74 SUMP ELEV. = 844.09	CATCH BASIN #147 RM ELEV. = 837.62 12" RCP S INV. = 833.02 10" RCP W INV. = 833.13 TOP OF DEBRIS INV. = 833.47
STORM MANHOLE #121 RM ELEV. = 849.28 12" RCP N INV. = 840.68 8" RCP NE INV. = 844.49 12" RCP E INV. = 840.65 12" RCP S INV. = 840.65 12" RCP S INV. = 843.19 8" RCP W INV. = 845.02	CATCH BASIN #148 RM ELEV. = 838.03 10" RCP E INV. = 834.15 TOP OF DEBRIS INV. = 833.93
CATCH BASIN #122 RM ELEV. = 849.72 (ADJUST TO 849.30) 8" RCP E INV. = 845.86 SUMP ELEV. = 843.42 PROP. I.E. 12" W 845.86	CATCH BASIN #149 RM ELEV. = 851.94 6" VCP N INV. = 847.59 6" VCP S INV. = 847.49
CATCH BASIN #123 RM ELEV. = 849.30 8" RCP SW INV. = 844.59 TOP OF DEBRIS ELEV. = 844.33	CATCH BASIN #150 RM ELEV. = 852.27 TOP OF DEBRIS INV. = 850.07

BENCHMARKS

CATCH BASIN #124 RM ELEV. = 848.90 8" METAL E INV. = 841.49 12" RCP S INV. = 841.49 8" RCP W INV. = 845.11 SUMP ELEV. = 841.49	BENCHMARK #1 ELEV. = 852.30 (NAV088) PK NAIL, WEST SIDE UTILITY POLE, WEST SIDE OF OKEMOS ROAD, 242' SOUTH OF BUILDING #4681 OKEMOS ROAD.
CATCH BASIN #125 RM ELEV. = 848.84 8" RCP E INV. = 845.44 6" PVC NW INV. = 845.49 SUMP ELEV. = 845.24	BENCHMARK #2 ELEV. = 846.57 (NAV088) PK NAIL, SOUTHEAST SIDE UTILITY POLE, WEST SIDE OF ARDMORE AVENUE, ON LINE WITH SOUTHERLY PARCEL LINE.
	BENCHMARK #3 ELEV. = 856.59 (NAV088) RAILROAD SPIKE, NORTHWEST SIDE UTILITY POLE, NORTHEAST QUADRANT OF ARDMORE AVENUE AND HAMILTON ROAD.

EX. LEGEND

● = SET 1/2" BAR WITH CAP	⊙ = SANITARY MANHOLE
□ = FOUND IRON AS NOTED	⊖ = DRAINAGE MANHOLE
— = DISTANCE NOT TO SCALE	⊕ = ELECTRIC MANHOLE
— = FENCE	⊗ = TELEPHONE MANHOLE
— = ASPHALT	⊞ = CATCHBASIN
— = CONCRETE	⊟ = DOWNSPOUT
— = GRAVEL	⊠ = SANITARY CLEANOUT
— = DECK	⊡ = FIRE HYDRANT
— = ADA PLATE	⊢ = VALVE
— = EXISTING SPOT ELEVATION	⊣ = UTILITY POLE
— = EXISTING CONTOUR ELEVATION	⊤ = LIGHT POLE
— = BUILDING OVERHANG	⊥ = GROUND LIGHT
— = GAS LINE	⊦ = TRAFFIC SIGNAL
— = UNDERGROUND TELEPHONE	⊧ = GUY WIRE
— = UNDERGROUND TELEVISION	⊨ = UTILITY PEDESTAL
— = UNDERGROUND ELECTRIC	⊩ = TRANSFORMER
— = OVERHEAD WIRES	⊪ = HANDHOLE
— = UTILITY EASEMENT	⊫ = ELECTRIC METER
— = CENTER LINE OF ROAD	⊬ = GAS METER
— = RIGHT OF WAY	⊭ = WATER METER
— = PROPERTY LINE	⊮ = SIGN
— = FIRE HYDRANT	⊯ = POST
— = WATER VALVE	⊰ = AIR CONDITIONING UNIT
— = THRUST BLOCK	
▲/▽ = 800.00	
— = PROPOSED TOP OF CURB ELEV.	



NOTE: ALL PROPOSED SANITARY EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT

NOTE: ALL PROPOSED WATER MAIN EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT

NOTE: WATER SHALL HAVE 10" HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.

NOTES PER MERIDIAN TOWNSHIP REQUIREMENTS:
ABANDON ALL EX. WATER LEADS NOT BEING USED.
ABANDON ALL EX. SANITARY SEWERS NOT BEING USED.
ALL EX. HYDRANTS IN VICINITY OF PROJECT SHALL BE RETROFITTED WITH STORZ NOZZLES.

REVISIONS

1-31-22 SUBMITTAL	
6-7-22 PRELIM	
8-29-22 MUPUD	

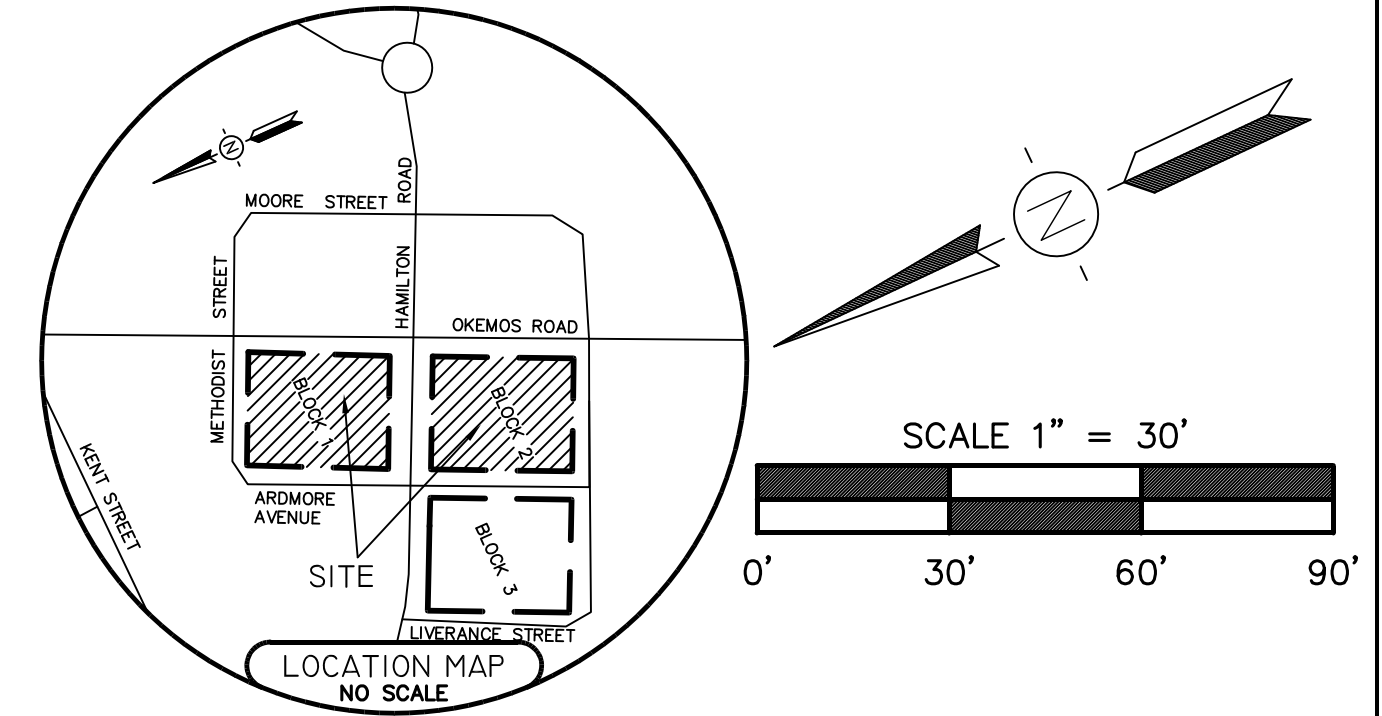
KEBS, INC. KYES ENGINEERING
2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047

Marshall Office
Ph. 269-781-9800

Village of Okemos
UTILITY PLAN

SCALE: 1" = 40' DESIGNER: A.J.P. APPROVED BY: A.J.P.
DATE: 4-14-19 PROJECT MGR. SHEET 4 OF 8
AUTHORIZED BY: DOWNTOWN OKEMOS, LLC JOB # 99191

MUPUD PLANS FOR: Village of Okemos MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN



EX. STORM SEWER INVENTORIES

CATCH BASIN #100 RIM ELEV. = 851.88 8" RCP W INV. = 847.69 TOP OF DEBRIS ELEV. = 847.66 SUMP ELEV. = 846.19	CATCH BASIN #126 (DEMO) RIM ELEV. = 845.50 8" PVC SE INV. = 846.15 TOP OF DEBRIS ELEV. = 846.10	CATCH BASIN #127 (DEMO) RIM ELEV. = 845.24 8" PVC SE INV. = 844.49 SUMP ELEV. = 844.04	CATCH BASIN #128 (DEMO) RIM ELEV. = 847.24 8" PVC S INV. = 844.05 TOP OF DEBRIS ELEV. = 844.04	CATCH BASIN #129 (DEMO) RIM ELEV. = 848.81 4" S INV. = 845.28 SW RESTRICTOR PLATE INV. = 849.23 12" SQUARE OPENING INV. = 848.13 SUMP ELEV. = 846.89	CATCH BASIN #130 (ADJUST TO 849.42) 12" RCP SE INV. = 844.91 12" RCP SW INV. = 844.93 (REMOVE) SUMP ELEV. = 846.60 PROP. I.E. 12" NW/S 844.93	CATCH BASIN #131 RIM ELEV. = 846.24 15" RCP N INV. = 840.99 15" RCP E INV. = 839.05 8" VCP SW INV. = 842.60 12" RCP W INV. = 843.06 SUMP ELEV. = 838.86	CATCH BASIN #132 RIM ELEV. = 848.00 15" RCP S INV. = 841.09 SUMP ELEV. = 836.70	CATCH BASIN #133 RIM ELEV. = 845.42 12" RCP NE INV. = 836.54 12" RCP NW INV. = 837.26 PROP. I.E. 12" SE 838.21	CATCH BASIN #134 RIM ELEV. = 846.71 TOP OF DEBRIS ELEV. = 845.41	CATCH BASIN #135 RIM ELEV. = 846.67 12" RCP S INV. = 840.73 12" RCP SE INV. = 842.62 SUMP ELEV. = 838.56	CATCH BASIN #136 RIM ELEV. = 846.68 12" RCP E INV. = 843.69 12" RCP NW INV. = 842.89 SUMP ELEV. = 840.92	CATCH BASIN #137 RIM ELEV. = 846.55 12" RCP S INV. = 841.45 12" RCP N INV. = 833.92 24" RCP E INV. = 833.83 12" RCP SW INV. = 840.56 18" RCP W INV. = 834.37 SUMP ELEV. = 847.22	CATCH BASIN #138 RIM ELEV. = 846.01 12" RCP S INV. = 841.59 SUMP ELEV. = 840.09	CATCH BASIN #140 RIM ELEV. = 838.40 8" PVC NW INV. = 836.40 SUMP ELEV. = 836.15	CATCH BASIN #141 RIM ELEV. = 839.97 18" RCP N INV. = 834.70 18" RCP E INV. = 834.52 8" PVC SE INV. = 835.11	CATCH BASIN #142 RIM ELEV. = 834.56 12" RCP SE INV. = 834.56 12" RCP NE INV. = 846.01 4" PVC NW INV. = 845.14 TOP OF DEBRIS ELEV. = 845.76	CATCH BASIN #143 RIM ELEV. = 840.02 10" RCP S INV. = 835.36 12" RCP NW INV. = 835.34 SUMP ELEV. = 835.02	CATCH BASIN #144 RIM ELEV. = 849.82 4" PVC SE INV. = 840.41 4" PVC SW INV. = 836.75 SUMP ELEV. = 836.75	CATCH BASIN #145 RIM ELEV. = 837.27 18" RCP E INV. = 832.65 6" PVC S INV. = 832.97 10" RCP W INV. = 832.83	CATCH BASIN #146 RIM ELEV. = 836.82 6" PVC N INV. = 834.15 SUMP ELEV. = 833.47	CATCH BASIN #147 RIM ELEV. = 837.62 12" RCP S INV. = 833.02 10" RCP W INV. = 833.13 TOP OF DEBRIS INV. = 833.47	CATCH BASIN #148 RIM ELEV. = 838.03 12" RCP E INV. = 834.15 TOP OF DEBRIS INV. = 833.93	CATCH BASIN #149 RIM ELEV. = 851.94 6" VCP N INV. = 847.59 6" VCP S INV. = 847.49	CATCH BASIN #150 RIM ELEV. = 852.27 TOP OF DEBRIS INV. = 850.07	CATCH BASIN #123 RIM ELEV. = 849.30 8" RCP SW INV. = 844.59 TOP OF DEBRIS ELEV. = 844.33	CATCH BASIN #124 RIM ELEV. = 848.90 8" METAL E INV. = 841.49 12" RCP S INV. = 841.49 8" RCP W INV. = 845.11 SUMP ELEV. = 841.49	CATCH BASIN #125 RIM ELEV. = 848.84 8" RCP E INV. = 845.44 6" PVC NW INV. = 845.49 SUMP ELEV. = 845.24
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PROPOSED STORM INVENTORY

CB#1 RIM 852.45 I.E. 12" SE 848.45	ST#7 RIM 851.13 I.E. 12" SW/SE 846.00	CB#13 RIM 852.45 I.E. 12" SE 846.65	ST#19 RIM 845.44 I.E. 12" SW 839.70 I.E. 15" SE 838.38 I.E. 18" NW 838.38	CB#25 RIM 845.40 I.E. 12" SW 840.40
CB#2 RIM 850.85 I.E. 12" NW/SE 846.85	CB#8 (CS-4) RIM 850.90 I.E. 12" NE/SW 845.06	CB#4 RIM 851.80 I.E. 12" SE 845.44	ST#20 (CS-4) RIM 846.50 I.E. 15" NW/SE 838.54	CB#26 RIM 845.30 I.E. 12" NE/SW 840.16
CB#3 RIM 852.45 I.E. 12" SE 848.45	ST#9 RIM 851.90 I.E. 12" NE/SW/NW 845.15	CB#5 RIM 844.45 I.E. 12" NE 840.45	ST#21 RIM 846.60 I.E. 15" NW/NE 839.08	CB#27 RIM 845.50 I.E. 12" NE 840.50
CB#4 RIM 850.85 I.E. 12" NW/SE 846.85	CB#10 (CS-4) RIM 851.70 I.E. 12" NW/SW 845.27	CB#16 RIM 844.70 I.E. 12" SW/NE 840.10 I.E. 12" W/SE 840.10	CB#22 RIM 845.40 I.E. 12" SW 839.51 I.E. 15" SE 839.51 I.E. 12" NE 840.20	
CB#5 RIM 850.45 I.E. 12" SE 846.45	ST#11 RIM 852.45 I.E. 12" NE/SW 845.62	CB#17 RIM 844.30 I.E. 12" NW 840.30	CB#23 RIM 845.40 I.E. 12" SW 840.40	
CB#6 RIM 850.45 I.E. 12" NW/NE 846.25	ST#12 RIM 852.35 I.E. 12" NW/NE 846.22	CB#18 RIM 844.40 I.E. 12" E 840.40	CB#24 RIM 845.40 I.E. 12" SW/NW 839.86 I.E. 12" SE 840.20	

EX. LEGEND

- SET 1/2" BAR WITH CAP
- FOUND IRON AS NOTED
- DISTANCE NOT TO SCALE
- FENCE
- ASPHALT
- CONCRETE
- GRAVEL
- DECK
- ADA PLATE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR ELEVATION
- BUILDING OVERHANG
- GAS LINE
- UNDERGROUND TELEPHONE
- UNDERGROUND TELEVISION
- UNDERGROUND ELECTRIC
- OVERHEAD WIRES
- RAILROAD
- DECIDUOUS TREE
- CONIFEROUS TREE
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- CATCHBASIN
- DOWNSPOUT
- SANITARY CLEANOUT
- FIRE HYDRANT
- VALVE
- UTILITY POLE
- LIGHT POLE
- GROUND LIGHT
- TRAFFIC SIGNAL
- GUY WIRE
- UTILITY PEDESTAL
- TRANSFORMER
- HANDHOLE
- ELECTRIC METER
- GAS METER
- WATER METER
- SOB
- POST
- AIR CONDITIONING UNIT

PROPOSED LEGEND

- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- MANHOLE (NEW)
- PROPOSED C.S. MANHOLE (EX.)
- UTILITY EASEMENT
- CENTER LINE OF ROAD
- ROAD RIGHT OF WAY
- PROPERTY LINE
- FIRE HYDRANT
- WATER VALVE
- THRUST BLOCK
- PROPOSED TOP OF CURB ELEV.

EX. SANITARY SEWER INVENTORIES

SANITARY MANHOLE #200 RIM ELEV. = 845.38 8" VCP N INV. = 836.58 8" VCP SE INV. = 836.72	SANITARY MANHOLE #201 RIM ELEV. = 851.97 8" VCP E INV. = 844.36 8" VCP S INV. = 835.34 8" VCP W INV. = 835.13	SANITARY MANHOLE #202 RIM ELEV. = 844.30 8" VCP N INV. = 832.60 8" VCP E INV. = 831.28 8" VCP S INV. = 833.77 8" VCP W INV. = 831.17	SANITARY MANHOLE #203 RIM ELEV. = 847.01 8" VCP S INV. = 834.83 6" VCP W INV. = 835.03	SANITARY MANHOLE #204 RIM ELEV. = 852.05 8" VCP N INV. = 840.56	SANITARY MANHOLE #205 RIM ELEV. = 849.85 8" VCP N INV. = 838.88 8" VCP E INV. = 838.97 8" VCP S INV. = 839.51 8" VCP W INV. = 839.58	SANITARY MANHOLE #206 RIM ELEV. = 852.02 8" VCP N INV. = 840.63 8" VCP E INV. = 840.33 8" VCP S INV. = 835.13	SANITARY MANHOLE #207 RIM ELEV. = 846.09 8" VCP N INV. = 840.63 8" VCP E INV. = 835.95 8" VCP S INV. = 837.75 8" VCP W INV. = 837.61	SANITARY MANHOLE #208 RIM ELEV. = 851.82 8" VCP E INV. = 840.11 6" VCP SW INV. = 840.41 6" VCP NW INV. = 840.54	SANITARY MANHOLE #209 RIM ELEV. = 842.15 8" VCP N INV. = 833.91 8" VCP S INV. = 833.91	SANITARY MANHOLE #210 RIM ELEV. = 839.83 8" VCP N INV. = 829.30 8" VCP E INV. = 829.30	SANITARY MANHOLE #211 RIM ELEV. = 838.92 8" VCP N INV. = 828.24 8" VCP S INV. = 830.50 8" VCP W INV. = 828.22	SANITARY MANHOLE #212 RIM ELEV. = 853.37 8" VCP E INV. = 837.05 8" VCP S INV. = 836.88 8" VCP W INV. = 836.98	SANITARY MANHOLE #213 RIM ELEV. = 854.01 6" VCP N INV. = 841.73 8" VCP W INV. = 841.31
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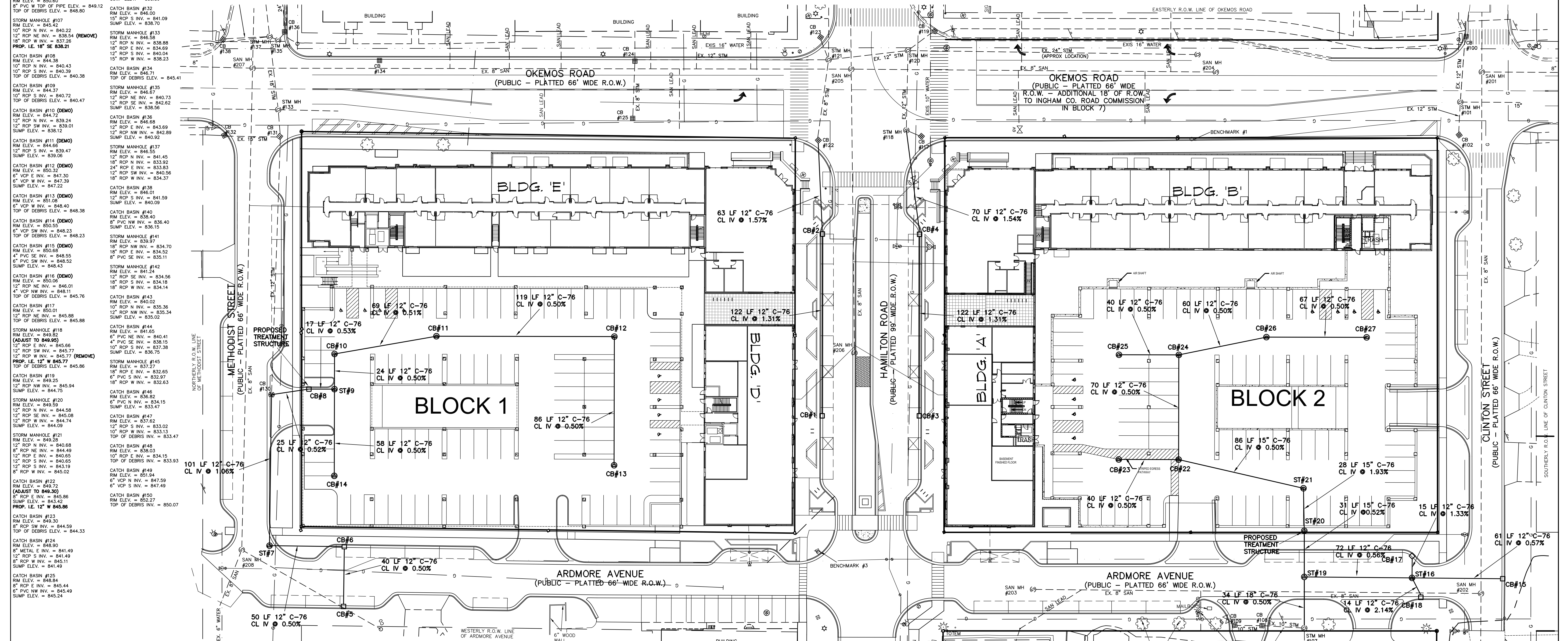
NOTE: WATER SHALL HAVE 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.

BENCHMARKS

BENCHMARK #1 ELEV. = 852.30 (NAVD88)
PK NAIL, WEST SIDE UTILITY POLE, WEST SIDE OF OKEMOS ROAD, ±42' SOUTH OF BUILDING #4661 OKEMOS ROAD.

BENCHMARK #2 ELEV. = 846.57 (NAVD88)
PK NAIL, SOUTHEAST SIDE UTILITY POLE, WEST SIDE OF ARDMORE AVENUE, ON LINE WITH SOUTHERLY PARCEL LINE.

BENCHMARK #3 ELEV. = 856.59 (NAVD88)
RAILROAD SPIKE, NORTHWEST SIDE UTILITY POLE, NORTHEAST QUADRANT OF ARDMORE AVENUE AND HAMILTON ROAD.



REVISIONS

8-29-22	MUPUD		
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KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047

Marshall Office
Ph. 269-781-9800

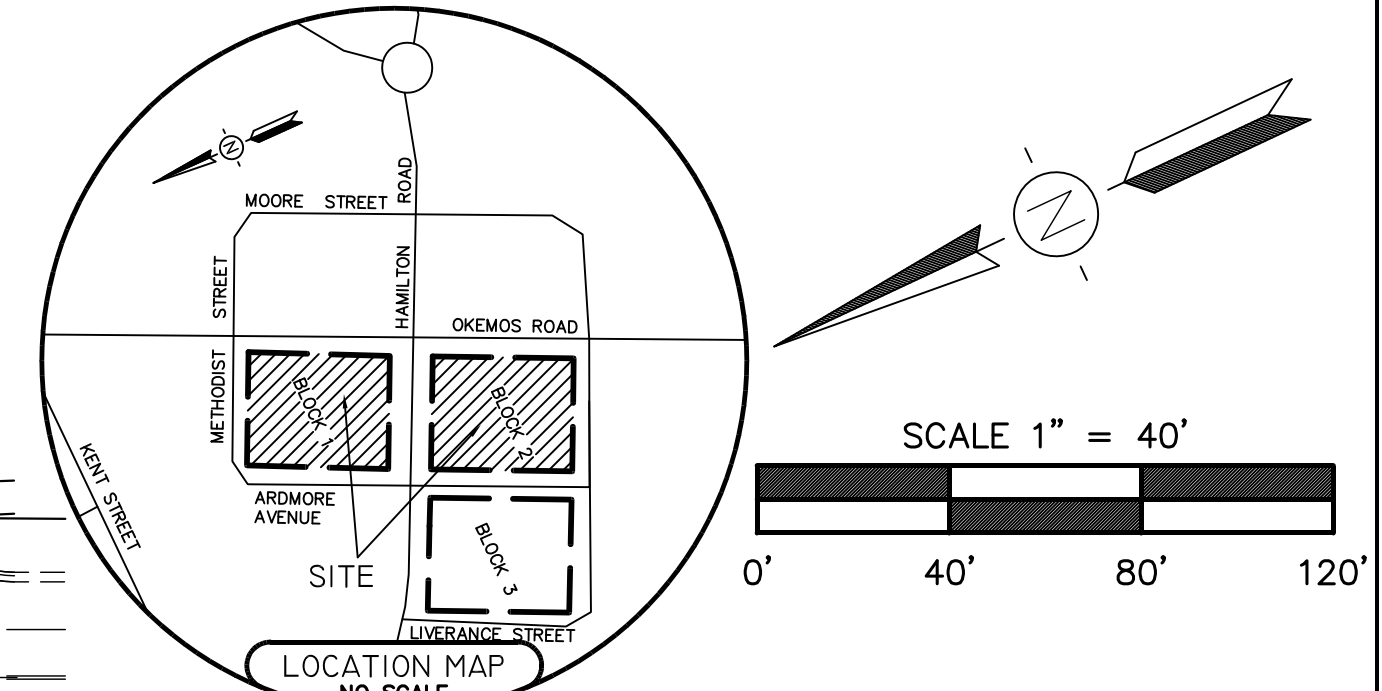
Village of Okemos
STORM PLAN

SCALE: 1" = 40'
DATE: 4-14-19
AUTHORIZED BY: DOWNTOWN OKEMOS, LLC

DESIGNER: A.J.P.
PROJECT MGR. A.J.P.
JOB #:

APPROVED BY: A.J.P.
SHEET 5 OF 8
JOB # 99191

MUPUD PLANS FOR:
Village of Okemos
 MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

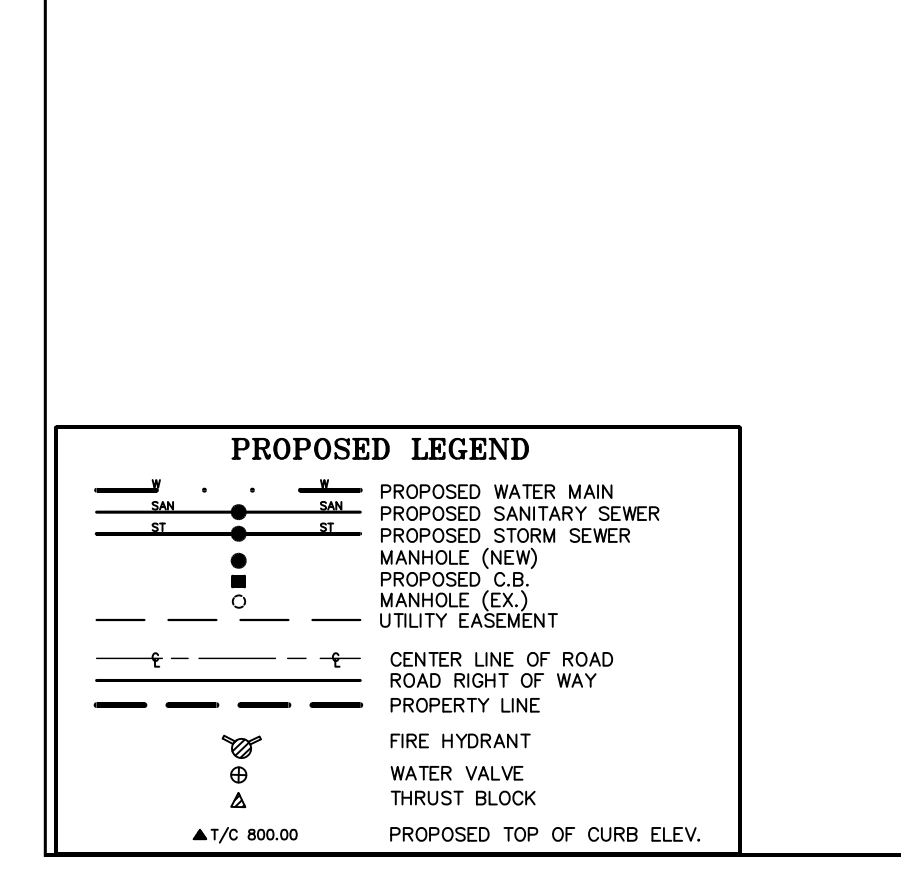


EX. STORM SEWER INVENTORIES

CATCH BASIN #100 RM ELEV. = 851.88 8" RCP W INV. = 847.69 TOP OF DEBRIS ELEV. = 847.66 SUMP ELEV. = 846.19	CATCH BASIN #126 (DEMO) RM ELEV. = 846.24 6" PVC SE INV. = 846.15 TOP OF DEBRIS ELEV. = 846.10
STORM MANHOLE #101 RM ELEV. = 852.29 12" RCP E INV. = 846.78 15" RCP S ELEV. = 846.59 12" RCP W INV. = 846.90 TOP OF DEBRIS ELEV. = 846.75	CATCH BASIN #127 (DEMO) RM ELEV. = 846.24 8" PVC N INV. = 844.49 SUMP ELEV. = 844.04
CATCH BASIN #102 RM ELEV. = 851.85 12" RCP E INV. = 847.33 TOP OF DEBRIS ELEV. = 847.35	CATCH BASIN #128 (DEMO) RM ELEV. = 847.24 8" VCP NE INV. = 844.05 8" PVC S INV. = 844.05 TOP OF DEBRIS ELEV. = 844.04
CATCH BASIN #103 (DEMO) RM ELEV. = 852.09 SW RESTRICTOR PLATE INV. = 849.23 SW 12" SQUARE OPENING INV. = 848.13 SUMP ELEV. = 846.89	CATCH BASIN #129 (DEMO) RM ELEV. = 848.81 4" S INV. = 845.28 12" RCP NW INV. = 845.19 SUMP ELEV. = 844.81
CATCH BASIN #104 (DEMO) RM ELEV. = 851.00 8" RCP N INV. = 847.68 TOP OF WATER ELEV. = 847.68 SUMP ELEV. = 846.60	CATCH BASIN #130 (ADJUST TO 846.42) 12" RCP E INV. = 844.91 12" RCP SE INV. = 844.93 (REMOVE) SUMP ELEV. = 843.68 PROP. I.E. 12" NW/S 844.93
CATCH BASIN #105 (DEMO) RM ELEV. = 849.67 6" VCP NE INV. = 845.07 8" RCP S INV. = 844.91 SUMP ELEV. = 844.17	CATCH BASIN #131 RM ELEV. = 846.24 15" RCP N INV. = 840.99 12" RCP E INV. = 839.05 6" VCP SW INV. = 842.60 12" RCP W INV. = 843.06 SUMP ELEV. = 838.96
CATCH BASIN #106 (DEMO) RM ELEV. = 850.60 8" PVC W TOP OF PIPE ELEV. = 849.12 TOP OF DEBRIS ELEV. = 848.80	CATCH BASIN #132 RM ELEV. = 846.00 15" RCP S INV. = 841.09 SUMP ELEV. = 838.70
STORM MANHOLE #107 RM ELEV. = 845.42 10" RCP NE INV. = 840.22 12" RCP NE INV. = 838.54 (REMOVE) 18" RCP W INV. = 837.28 PROP. I.E. 18" SE 838.75	STORM MANHOLE #133 RM ELEV. = 846.58 12" RCP N INV. = 838.68 18" RCP E INV. = 834.69 12" RCP S INV. = 840.04 15" RCP W INV. = 838.23
CATCH BASIN #108 RM ELEV. = 844.38 10" RCP N INV. = 840.43 10" RCP S INV. = 840.39 TOP OF DEBRIS ELEV. = 840.38	CATCH BASIN #134 RM ELEV. = 846.71 TOP OF DEBRIS ELEV. = 845.41
CATCH BASIN #109 RM ELEV. = 844.37 10" RCP S INV. = 840.72 TOP OF DEBRIS ELEV. = 840.47	STORM MANHOLE #135 RM ELEV. = 846.87 12" RCP NE INV. = 840.73 12" RCP SE INV. = 842.62 SUMP ELEV. = 838.56
CATCH BASIN #110 (DEMO) RM ELEV. = 844.72 12" RCP N INV. = 839.24 12" RCP SW INV. = 839.01 SUMP ELEV. = 838.12	CATCH BASIN #136 RM ELEV. = 846.68 12" RCP E INV. = 843.69 12" RCP NW INV. = 843.89 SUMP ELEV. = 840.92
CATCH BASIN #111 (DEMO) RM ELEV. = 844.66 12" RCP S INV. = 839.47 SUMP ELEV. = 839.06	STORM MANHOLE #137 RM ELEV. = 846.55 12" RCP N INV. = 841.45 18" RCP N INV. = 833.92 12" RCP E INV. = 833.83 12" RCP SW INV. = 840.56 18" RCP W INV. = 834.37 SUMP ELEV. = 847.22
CATCH BASIN #112 (DEMO) RM ELEV. = 850.32 6" VCP E INV. = 847.30 6" VCP W INV. = 847.39 SUMP ELEV. = 847.22	CATCH BASIN #138 RM ELEV. = 846.01 12" RCP S INV. = 841.59 SUMP ELEV. = 840.09
CATCH BASIN #113 (DEMO) RM ELEV. = 851.09 6" VCP W INV. = 848.40 TOP OF DEBRIS ELEV. = 848.38	CATCH BASIN #140 RM ELEV. = 838.40 8" PVC NW INV. = 836.40 SUMP ELEV. = 836.15
CATCH BASIN #114 (DEMO) RM ELEV. = 850.35 6" VCP SW INV. = 848.23 TOP OF DEBRIS ELEV. = 848.23	STORM MANHOLE #141 RM ELEV. = 839.97 18" RCP NW INV. = 834.70 18" RCP E INV. = 834.52 6" PVC SE INV. = 835.11 6" PVC SW INV. = 849.52 SUMP ELEV. = 846.43
CATCH BASIN #115 (DEMO) RM ELEV. = 850.89 4" PVC SE INV. = 848.55 6" PVC SW INV. = 849.52 SUMP ELEV. = 846.43	STORM MANHOLE #142 RM ELEV. = 841.24 12" RCP SE INV. = 834.56 18" RCP S INV. = 834.18 12" RCP NE INV. = 846.01 4" VCP NW INV. = 846.11 TOP OF DEBRIS ELEV. = 845.76
CATCH BASIN #116 (DEMO) RM ELEV. = 850.06 12" RCP NE INV. = 846.01 4" VCP NW INV. = 846.11 TOP OF DEBRIS ELEV. = 845.76	CATCH BASIN #143 RM ELEV. = 846.02 10" RCP N INV. = 835.36 12" RCP NW INV. = 835.34 SUMP ELEV. = 845.02
CATCH BASIN #117 RM ELEV. = 850.01 12" RCP NE INV. = 845.88 TOP OF DEBRIS ELEV. = 845.88	CATCH BASIN #144 RM ELEV. = 841.65 6" PVC NE INV. = 840.41 4" PVC SE INV. = 838.15 10" RCP S INV. = 837.38 SUMP ELEV. = 836.75
STORM MANHOLE #118 RM ELEV. = 849.82 (ADJUST TO 850.06) 12" RCP E INV. = 845.66 12" RCP SW INV. = 845.77 12" RCP W INV. = 845.77 (REMOVE) PROP. I.E. 12" W 845.77 TOP OF DEBRIS ELEV. = 845.86	STORM MANHOLE #145 RM ELEV. = 837.27 18" RCP E INV. = 832.65 6" PVC S INV. = 832.97 18" RCP W INV. = 832.63
CATCH BASIN #119 RM ELEV. = 849.25 12" RCP NW INV. = 845.94 SUMP ELEV. = 844.75	CATCH BASIN #146 RM ELEV. = 836.82 6" PVC N INV. = 834.15 SUMP ELEV. = 833.47
STORM MANHOLE #120 RM ELEV. = 849.59 12" RCP N INV. = 844.58 12" RCP SE INV. = 845.08 12" RCP W INV. = 844.74 SUMP ELEV. = 844.09	CATCH BASIN #147 RM ELEV. = 837.62 12" RCP S INV. = 833.02 10" RCP W INV. = 833.13 TOP OF DEBRIS ELEV. = 833.47
STORM MANHOLE #121 RM ELEV. = 849.28 12" RCP N INV. = 840.68 8" RCP NE INV. = 844.49 12" RCP E INV. = 840.65 12" RCP S INV. = 840.65 12" RCP W INV. = 843.19 8" RCP W INV. = 845.02	CATCH BASIN #148 RM ELEV. = 838.03 10" RCP E INV. = 834.15 TOP OF DEBRIS ELEV. = 833.93
CATCH BASIN #122 RM ELEV. = 849.72 (ADJUST TO 849.30) 8" RCP E INV. = 845.86 SUMP ELEV. = 843.42 PROP. I.E. 12" W 845.86	CATCH BASIN #149 RM ELEV. = 851.94 6" VCP N INV. = 847.59 6" VCP S INV. = 847.49
CATCH BASIN #123 RM ELEV. = 849.30 8" RCP SW INV. = 844.59 TOP OF DEBRIS ELEV. = 844.33	CATCH BASIN #150 RM ELEV. = 852.27 TOP OF DEBRIS INV. = 850.07

BENCHMARKS

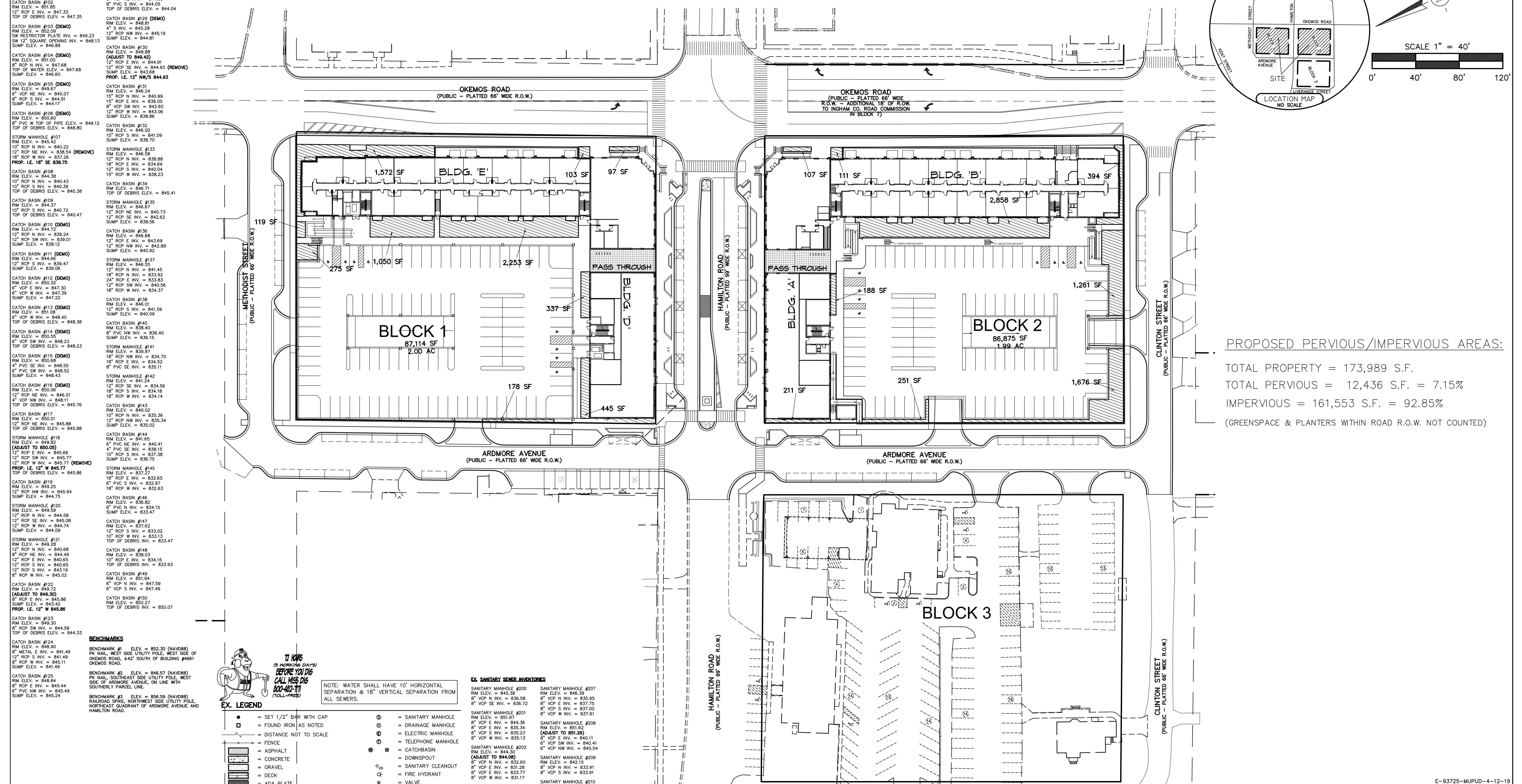
CATCH BASIN #124 RM ELEV. = 848.90 8" METAL E INV. = 841.49 12" RCP S INV. = 841.49 8" RCP W INV. = 845.11 SUMP ELEV. = 841.49	BENCHMARK #1 ELEV. = 852.30 (NAV088) PK NW, WEST SIDE UTILITY POLE, WEST SIDE OF OKEMOS ROAD, 242' SOUTH OF BUILDING #4681 OKEMOS ROAD.
CATCH BASIN #125 RM ELEV. = 848.84 8" RCP N INV. = 845.44 6" PVC NW INV. = 845.49 SUMP ELEV. = 845.24	BENCHMARK #2 ELEV. = 846.57 (NAV088) PK NW, SOUTHEAST SIDE UTILITY POLE, WEST SIDE OF ARDMORE AVENUE, ON LINE WITH SOUTHERLY PARCEL LINE.
	BENCHMARK #3 ELEV. = 856.59 (NAV088) RAILROAD SPIKE, NORTHWEST SIDE UTILITY POLE, NORTHEAST QUADRANT OF ARDMORE AVENUE AND HAMILTON ROAD.



NOTE: WATER SHALL HAVE 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.

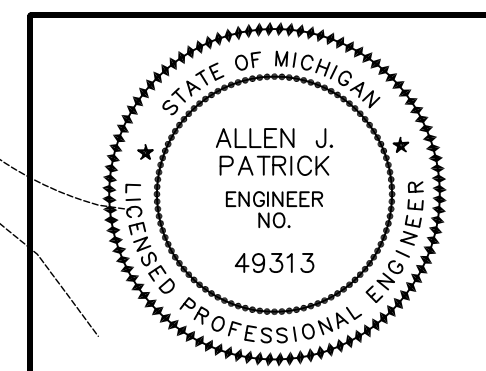
EX. SANITARY SEWER INVENTORIES

SANITARY MANHOLE #200 RM ELEV. = 845.38 8" VCP N INV. = 836.58 8" VCP S INV. = 835.23 8" VCP W INV. = 835.13	SANITARY MANHOLE #207 RM ELEV. = 846.39 8" VCP N INV. = 835.95 8" VCP E INV. = 837.75 8" VCP S INV. = 837.00 8" VCP W INV. = 837.61
SANITARY MANHOLE #201 RM ELEV. = 851.97 8" VCP E INV. = 844.36 8" VCP S INV. = 835.34 8" VCP W INV. = 835.13	SANITARY MANHOLE #208 RM ELEV. = 851.62 (ADJUST TO 851.26) 8" VCP E INV. = 840.11 6" VCP SW INV. = 840.41 6" VCP NW INV. = 840.54
SANITARY MANHOLE #202 RM ELEV. = 844.36 (ADJUST TO 844.08) 8" VCP N INV. = 832.60 8" VCP E INV. = 831.28 8" VCP S INV. = 833.77 8" VCP W INV. = 831.17	SANITARY MANHOLE #209 RM ELEV. = 842.15 8" VCP N INV. = 833.91 8" VCP S INV. = 833.91 8" VCP W INV. = 833.91
SANITARY MANHOLE #203 RM ELEV. = 847.01 (ADJUST TO 850.54) 8" VCP S INV. = 834.83 6" VCP W INV. = 835.03	SANITARY MANHOLE #210 RM ELEV. = 839.83 8" VCP E INV. = 829.25 8" VCP S INV. = 829.30
SANITARY MANHOLE #204 RM ELEV. = 852.05 8" VCP N INV. = 840.56	SANITARY MANHOLE #211 RM ELEV. = 838.82 8" VCP N INV. = 828.24 8" VCP N INV. = 830.50 8" VCP S INV. = 828.26 8" VCP W INV. = 828.22
SANITARY MANHOLE #205 RM ELEV. = 849.65 8" VCP N INV. = 838.88 8" VCP S INV. = 838.97 8" VCP S INV. = 839.51 8" VCP W INV. = 839.58	SANITARY MANHOLE #212 RM ELEV. = 853.37 8" VCP E INV. = 837.05 8" VCP S INV. = 836.88 8" VCP W INV. = 836.98
SANITARY MANHOLE #206 RM ELEV. = 852.02 (ADJUST TO 852.85) 8" VCP N INV. = 840.83 8" VCP E INV. = 840.33 8" VCP S INV. = 840.71	SANITARY MANHOLE #213 RM ELEV. = 854.01 6" VCP N INV. = 841.73 8" VCP W INV. = 841.31



PROPOSED PERVIOUS/IMPERVIOUS AREAS:

TOTAL PROPERTY = 173,989 S.F.
 TOTAL PERVIOUS = 12,436 S.F. = 7.15%
 IMPERVIOUS = 161,553 S.F. = 92.85%
 (GREENSPACE & PLANTERS WITHIN ROAD R.O.W. NOT COUNTED)



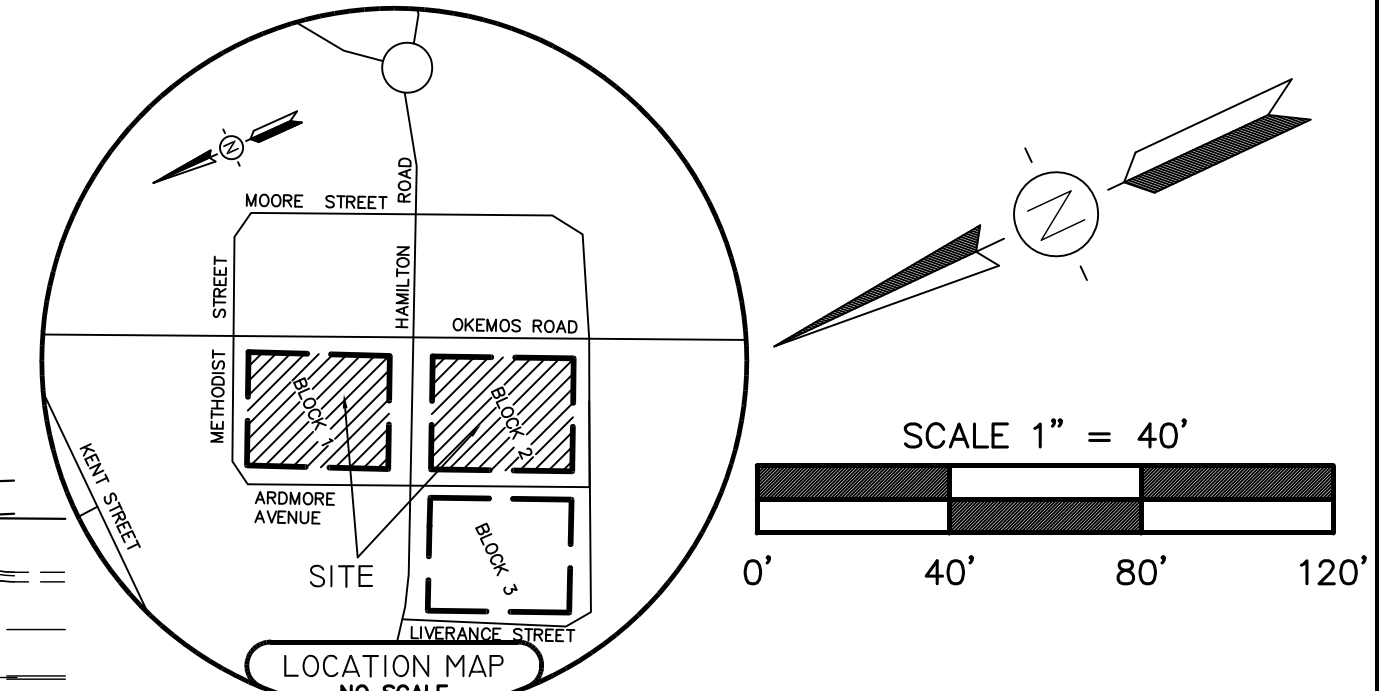
REVISIONS	DESIGNER: A.J.P.	APPROVED BY: A.J.P.
1-31-22 SUBMITTAL	PROJECT MGR.: A.J.P.	SHEET 7 OF 8
6-7-22 PRELIM	AUTHORIZED BY: DOWNTOWN OKEMOS, LLC	JOB #: 99191
8-29-22 MUPUD		

KEBS, INC. KYES ENGINEERING
 2116 HASLETT ROAD, HASLETT, MI 48840
 PH. 517-339-1014 FAX. 517-339-8047
 Marshall Office
 Ph. 269-781-9800

Village of Okemos
 PERVIOUS/IMPERVIOUS PLAN

MUPUD PLANS FOR: Village of Okemos

MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN



EX. STORM SEWER INVENTORIES

CATCH BASIN #100 RIM ELEV. = 851.88 8" RCP W INV. = 847.69 TOP OF DEBRIS ELEV. = 847.66 SUMP ELEV. = 846.19	CATCH BASIN #126 (DEMO) RIM ELEV. = 846.24 6" PVC SE INV. = 846.15 TOP OF DEBRIS ELEV. = 846.10
STORM MANHOLE #101 RIM ELEV. = 852.29 12" RCP E INV. = 846.78 15" RCP S ELEV. = 846.59 12" RCP SE INV. = 846.90 TOP OF DEBRIS ELEV. = 846.75	CATCH BASIN #127 (DEMO) RIM ELEV. = 848.24 8" PVC N INV. = 844.49 SUMP ELEV. = 844.04
CATCH BASIN #102 RIM ELEV. = 851.85 12" RCP E INV. = 847.33 TOP OF DEBRIS ELEV. = 847.35	CATCH BASIN #128 (DEMO) RIM ELEV. = 847.24 8" VCP NE INV. = 844.05 8" PVC S INV. = 844.05 TOP OF DEBRIS ELEV. = 844.04
CATCH BASIN #103 (DEMO) RIM ELEV. = 852.09 SW RESTRICTOR PLATE INV. = 849.23 SW 12" SQUARE OPENING INV. = 849.13 SUMP ELEV. = 846.89	CATCH BASIN #129 (DEMO) RIM ELEV. = 848.81 4" S INV. = 845.28 12" RCP NW INV. = 845.19 SUMP ELEV. = 844.81
CATCH BASIN #104 (DEMO) RIM ELEV. = 851.00 8" RCP N INV. = 847.68 TOP OF WATER ELEV. = 847.68 SUMP ELEV. = 846.60	CATCH BASIN #130 RIM ELEV. = 846.88 (ADJUST TO 849.42) 12" RCP E INV. = 844.91 12" RCP SE INV. = 849.93 (REMOVE) SUMP ELEV. = 843.68 PROP. I.E. 12" NW/S 844.93
CATCH BASIN #105 (DEMO) RIM ELEV. = 849.67 6" VCP NE INV. = 845.07 8" RCP S INV. = 844.91 SUMP ELEV. = 844.17	CATCH BASIN #131 RIM ELEV. = 846.24 15" RCP N INV. = 840.99 12" RCP E INV. = 839.05 6" VCP SW INV. = 842.60 12" RCP W INV. = 843.06 SUMP ELEV. = 838.96
CATCH BASIN #106 (DEMO) RIM ELEV. = 850.60 8" PVC W TOP OF PIPE ELEV. = 849.12 TOP OF DEBRIS ELEV. = 848.80	CATCH BASIN #132 RIM ELEV. = 846.00 15" RCP S INV. = 841.09 SUMP ELEV. = 838.70
STORM MANHOLE #107 RIM ELEV. = 845.42 10" RCP N INV. = 840.22 12" RCP NE INV. = 838.54 (REMOVE) 18" RCP W INV. = 833.26 PROP. I.E. 18" SE 838.75	STORM MANHOLE #133 RIM ELEV. = 846.58 12" RCP N INV. = 838.68 8" RCP E INV. = 833.69 12" RCP S INV. = 840.04 15" RCP W INV. = 838.23
CATCH BASIN #108 RIM ELEV. = 844.38 10" RCP N INV. = 840.43 10" RCP S INV. = 840.39 TOP OF DEBRIS ELEV. = 840.38	CATCH BASIN #134 RIM ELEV. = 846.71 TOP OF DEBRIS ELEV. = 845.41
CATCH BASIN #109 RIM ELEV. = 844.37 10" RCP S INV. = 840.72 TOP OF DEBRIS ELEV. = 840.47	STORM MANHOLE #135 RIM ELEV. = 846.67 12" RCP NE INV. = 840.73 12" RCP SE INV. = 842.62 SUMP ELEV. = 838.56
CATCH BASIN #110 (DEMO) RIM ELEV. = 844.72 12" RCP N INV. = 839.24 12" RCP SW INV. = 839.01 SUMP ELEV. = 838.12	CATCH BASIN #136 RIM ELEV. = 846.68 12" RCP E INV. = 843.69 12" RCP NW INV. = 842.89 SUMP ELEV. = 840.92
CATCH BASIN #111 (DEMO) RIM ELEV. = 844.66 12" RCP S INV. = 839.47 SUMP ELEV. = 839.06	STORM MANHOLE #137 RIM ELEV. = 846.55 12" RCP N INV. = 841.45 18" RCP N INV. = 833.92 24" RCP E INV. = 833.83 12" RCP SW INV. = 840.56 18" RCP W INV. = 834.37 SUMP ELEV. = 847.22
CATCH BASIN #112 (DEMO) RIM ELEV. = 850.32 4" VCP E INV. = 847.30 6" VCP W INV. = 847.39 SUMP ELEV. = 847.22	CATCH BASIN #138 RIM ELEV. = 846.01 12" RCP S INV. = 841.59 SUMP ELEV. = 840.09
CATCH BASIN #113 (DEMO) RIM ELEV. = 851.08 6" VCP W INV. = 848.40 TOP OF DEBRIS ELEV. = 848.38	CATCH BASIN #140 RIM ELEV. = 838.40 8" PVC NW INV. = 836.40 SUMP ELEV. = 836.15
CATCH BASIN #114 (DEMO) RIM ELEV. = 850.35 6" VCP SW INV. = 848.23 TOP OF DEBRIS ELEV. = 848.23	STORM MANHOLE #141 RIM ELEV. = 839.97 18" RCP NW INV. = 834.70 18" RCP E INV. = 834.52 4" PVC SE INV. = 848.55 4" PVC SW INV. = 848.52 SUMP ELEV. = 848.43
CATCH BASIN #115 (DEMO) RIM ELEV. = 850.89 4" PVC SE INV. = 848.55 4" PVC SW INV. = 848.52 SUMP ELEV. = 848.43	STORM MANHOLE #142 RIM ELEV. = 841.24 12" RCP SE INV. = 834.56 18" RCP S INV. = 834.18 18" RCP W INV. = 834.14
CATCH BASIN #116 (DEMO) RIM ELEV. = 850.06 12" RCP NE INV. = 846.01 4" VCP NW INV. = 848.11 TOP OF DEBRIS ELEV. = 845.76	CATCH BASIN #143 RIM ELEV. = 840.02 10" RCP N INV. = 835.36 12" RCP NW INV. = 835.34 SUMP ELEV. = 836.75
CATCH BASIN #117 RIM ELEV. = 850.01 12" RCP NE INV. = 845.88 TOP OF DEBRIS ELEV. = 845.88	CATCH BASIN #144 RIM ELEV. = 841.65 6" PVC NE INV. = 840.41 4" PVC SE INV. = 838.15 10" RCP S INV. = 837.38 SUMP ELEV. = 836.75
STORM MANHOLE #118 RIM ELEV. = 849.82 (ADJUST TO 850.05) 12" RCP E INV. = 845.66 12" RCP SW INV. = 845.77 12" RCP W INV. = 845.77 (REMOVE) TOP OF DEBRIS ELEV. = 845.86	STORM MANHOLE #145 RIM ELEV. = 837.27 18" RCP E INV. = 832.65 6" PVC S INV. = 832.97 18" RCP W INV. = 832.63
CATCH BASIN #119 RIM ELEV. = 849.25 12" RCP NW INV. = 845.94 SUMP ELEV. = 844.75	CATCH BASIN #146 RIM ELEV. = 836.82 6" PVC N INV. = 834.15 SUMP ELEV. = 833.47
STORM MANHOLE #120 RIM ELEV. = 849.59 12" RCP N INV. = 844.58 12" RCP SE INV. = 845.08 12" RCP W INV. = 844.74 SUMP ELEV. = 844.09	CATCH BASIN #147 RIM ELEV. = 837.62 12" RCP S INV. = 833.02 10" RCP W INV. = 833.13 TOP OF DEBRIS ELEV. = 833.47
STORM MANHOLE #121 RIM ELEV. = 849.28 12" RCP N INV. = 840.68 8" RCP NE INV. = 844.49 12" RCP E INV. = 840.65 12" RCP S INV. = 840.65 12" RCP W INV. = 843.19 8" RCP W INV. = 845.02	CATCH BASIN #148 RIM ELEV. = 838.03 10" RCP E INV. = 834.15 TOP OF DEBRIS ELEV. = 833.93
CATCH BASIN #122 RIM ELEV. = 849.72 (ADJUST TO 849.30) 8" RCP E INV. = 845.86 SUMP ELEV. = 843.42	CATCH BASIN #149 RIM ELEV. = 851.94 6" VCP N INV. = 847.59 6" VCP S INV. = 847.49
CATCH BASIN #123 RIM ELEV. = 849.30 8" RCP SW INV. = 844.59 TOP OF DEBRIS ELEV. = 844.33	CATCH BASIN #150 RIM ELEV. = 852.27 TOP OF DEBRIS INV. = 850.07

BENCHMARKS

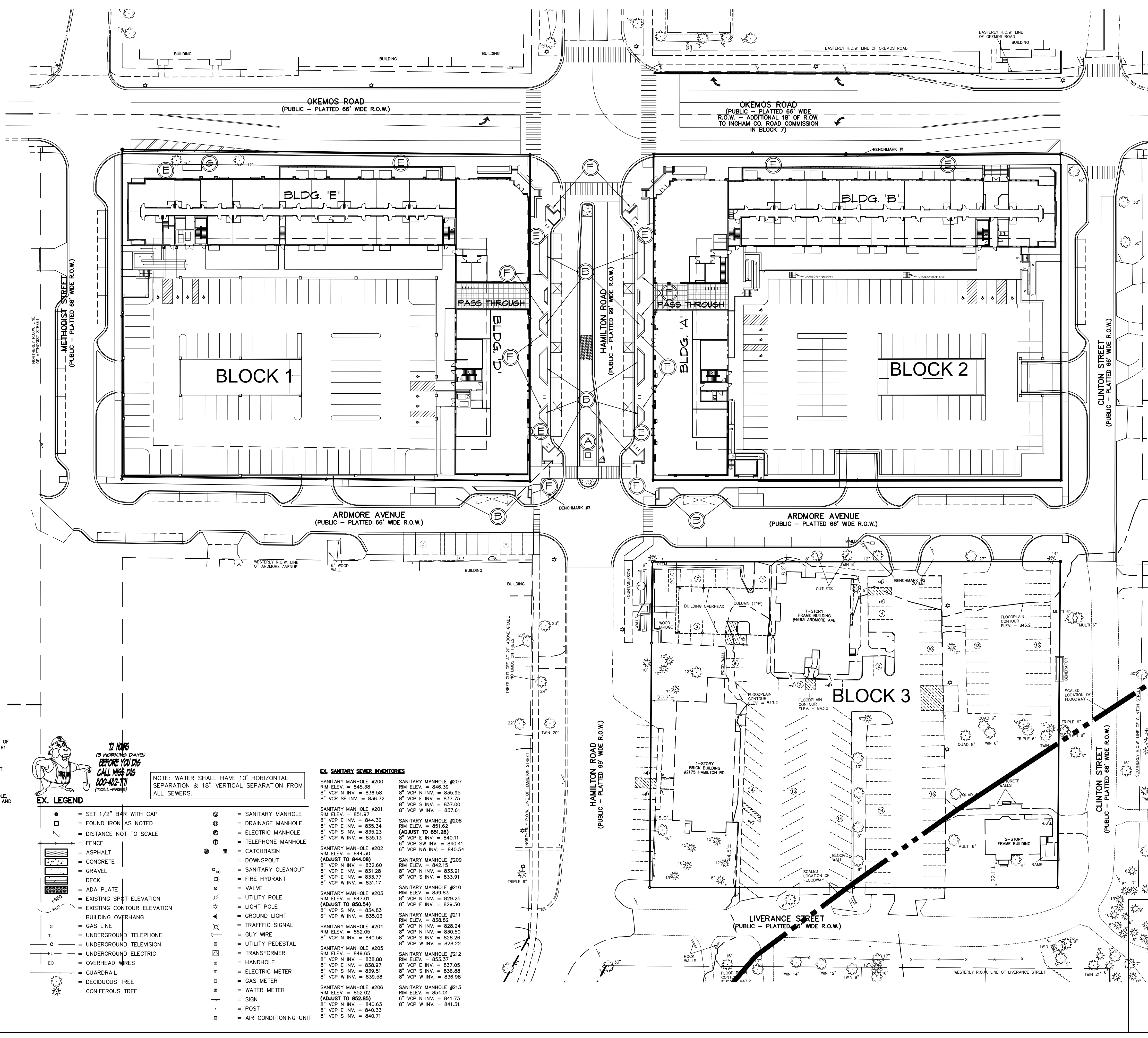
CATCH BASIN #124 RIM ELEV. = 848.90 8" METAL E INV. = 841.49 12" RCP S INV. = 841.49 8" RCP W INV. = 845.11 SUMP ELEV. = 841.49	BENCHMARK #1 ELEV. = 852.30 (NAV088) PK NW, WEST SIDE UTILITY POLE, WEST SIDE OF OKEMOS ROAD, 242' SOUTH OF BUILDING #4681 OKEMOS ROAD.
CATCH BASIN #125 RIM ELEV. = 848.84 8" RCP E INV. = 845.44 6" PVC NW INV. = 845.49 SUMP ELEV. = 845.24	BENCHMARK #2 ELEV. = 846.57 (NAV088) PK NW, SOUTHEAST SIDE UTILITY POLE, WEST SIDE OF ARDMORE AVENUE, ON LINE WITH SOUTHERLY PARCEL LINE.
	BENCHMARK #3 ELEV. = 856.59 (NAV088) RAILROAD SPIKE, NORTHWEST SIDE UTILITY POLE, NORTHEAST QUADRANT OF ARDMORE AVENUE AND HAMILTON ROAD.

EX. LEGEND

● = SET 1/2" BAR WITH CAP	⊙ = SANITARY MANHOLE
□ = FOUND IRON AS NOTED	⊖ = DRAINAGE MANHOLE
— = DISTANCE NOT TO SCALE	⊕ = ELECTRIC MANHOLE
— = FENCE	⊗ = TELEPHONE MANHOLE
— = ASPHALT	⊞ = CATCHBASIN
— = CONCRETE	⊟ = DOWNSPOUT
— = GRAVEL	⊠ = SANITARY CLEANOUT
— = DECK	⊡ = FIRE HYDRANT
— = ADA PLATE	⊢ = VALVE
— = EXISTING SPOT ELEVATION	⊣ = UTILITY POLE
— = EXISTING CONTOUR ELEVATION	⊤ = LIGHT POLE
— = BUILDING OVERHANG	⊥ = GROUND LIGHT
— = GAS LINE	⊦ = TRAFFIC SIGNAL
— = UNDERGROUND TELEPHONE	⊧ = GUY WIRE
— = UNDERGROUND TELEVISION	⊨ = UTILITY PEDESTAL
— = UNDERGROUND ELECTRIC	⊩ = TRANSFORMER
— = OVERHEAD WIRES	⊪ = HANDHOLE
— = GUARDRAIL	⊫ = ELECTRIC METER
— = DECIDUOUS TREE	⊬ = GAS METER
— = CONIFEROUS TREE	⊭ = WATER METER
	— = SIGN
	— = POST
	— = AIR CONDITIONING UNIT

PROPOSED LEGEND

— = PROPOSED WATER MAIN
— = PROPOSED SANITARY SEWER
— = PROPOSED STORM SEWER
— = MANHOLE (NEW)
— = PROPOSED C.B.
— = UTILITY EASEMENT
— = CENTER LINE OF ROAD
— = ROAD RIGHT OF WAY
— = PROPERTY LINE
— = FIRE HYDRANT
— = WATER VALVE
— = THRUST BLOCK
▲/▽ = 800.00
— = PROPOSED TOP OF CURB ELEV.



LEGAL DESCRIPTIONS:
Lots 1, 2, 3, 4, 5, 6, 7 & 8 in Block 5, Village of Okemos (formerly Village of Hamilton), Meridian Township, Ingham County, Michigan.
Lots 1, 2, 3, 4, 5, 6, 7 & 8 in Block 6, Village of Okemos (formerly Village of Hamilton), Meridian Township, Ingham County, Michigan.

- SITE AMENITIES**
- (A) PUBLIC ART
 - (B) SIDEWALK PLANTERS
 - (C) INNOVATIVE LIGHTING (SEE LANDSCAPE & LIGHTING PLANS)
 - (D) CONSOLIDATION OF MULTIPLE LAND PARCELS
 - (E) 1st FLOOR ANNINGS & UPPER FLOOR BALCONIES
 - (F) OUTDOOR SEATING
 - (G) TRANSIT STOP
 - (H) REHABILITATION OF DEGRADED SITE

EX. SANITARY SEWER INVENTORIES

SANITARY MANHOLE #200 RIM ELEV. = 845.38 8" VCP N INV. = 836.58 8" VCP S INV. = 836.72 8" VCP W INV. = 837.00	SANITARY MANHOLE #207 RIM ELEV. = 846.39 8" VCP N INV. = 835.95 8" VCP E INV. = 837.75 8" VCP S INV. = 837.00 8" VCP W INV. = 837.61
SANITARY MANHOLE #201 RIM ELEV. = 851.97 8" VCP E INV. = 844.36 8" VCP N INV. = 835.34 8" VCP S INV. = 835.23 8" VCP W INV. = 835.13	SANITARY MANHOLE #208 RIM ELEV. = 851.62 (ADJUST TO 851.26) 8" VCP E INV. = 840.11 8" VCP N INV. = 840.41 6" VCP NW INV. = 840.54
SANITARY MANHOLE #202 RIM ELEV. = 844.36 (ADJUST TO 844.08) 8" VCP N INV. = 832.60 8" VCP E INV. = 831.28 8" VCP S INV. = 833.77 8" VCP W INV. = 831.17	SANITARY MANHOLE #209 RIM ELEV. = 842.15 8" VCP N INV. = 833.91 8" VCP S INV. = 833.91 8" VCP W INV. = 833.91
SANITARY MANHOLE #203 RIM ELEV. = 847.01 (ADJUST TO 850.54) 8" VCP S INV. = 834.83 6" VCP W INV. = 835.03	SANITARY MANHOLE #211 RIM ELEV. = 839.82 8" VCP N INV. = 828.24 8" VCP N INV. = 830.50 8" VCP S INV. = 828.26 8" VCP W INV. = 828.22
SANITARY MANHOLE #204 RIM ELEV. = 840.56 8" VCP N INV. = 839.87 8" VCP S INV. = 839.51 8" VCP W INV. = 839.58	SANITARY MANHOLE #212 RIM ELEV. = 853.37 8" VCP N INV. = 837.05 8" VCP S INV. = 836.88 8" VCP W INV. = 836.98
SANITARY MANHOLE #205 RIM ELEV. = 849.65 8" VCP N INV. = 838.88 8" VCP E INV. = 838.97 8" VCP S INV. = 839.51 8" VCP W INV. = 839.58	SANITARY MANHOLE #213 RIM ELEV. = 854.01 6" VCP N INV. = 841.73 8" VCP W INV. = 841.31
SANITARY MANHOLE #206 RIM ELEV. = 852.02 (ADJUST TO 852.85) 8" VCP N INV. = 840.83 8" VCP E INV. = 840.33 8" VCP S INV. = 840.71	

E-93725-MUPUD-4-12-19
SURVEY#93725ALT

STATE OF MICHIGAN
ALLEN J. PATRICK
ENGINEER
NO. 49313
LICENSED PROFESSIONAL ENGINEER

REVISIONS	DESIGNER: AJP	APPROVED BY: AJP
1-31-22 SUBMITTAL	PROJECT MGR: AJP	SHEET 6 OF 8
6-7-22 PRELIM		
8-29-22 MUPUD		

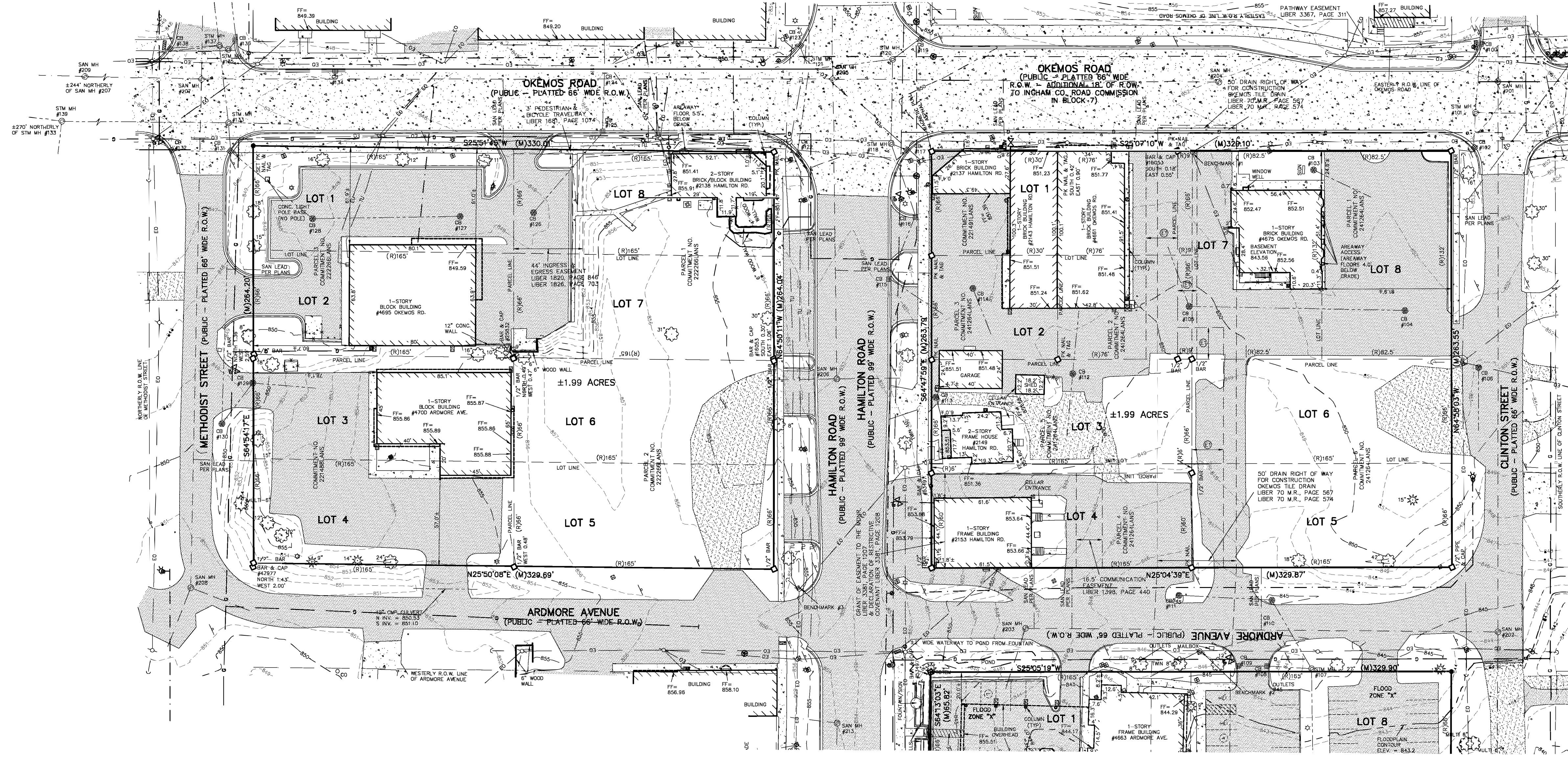
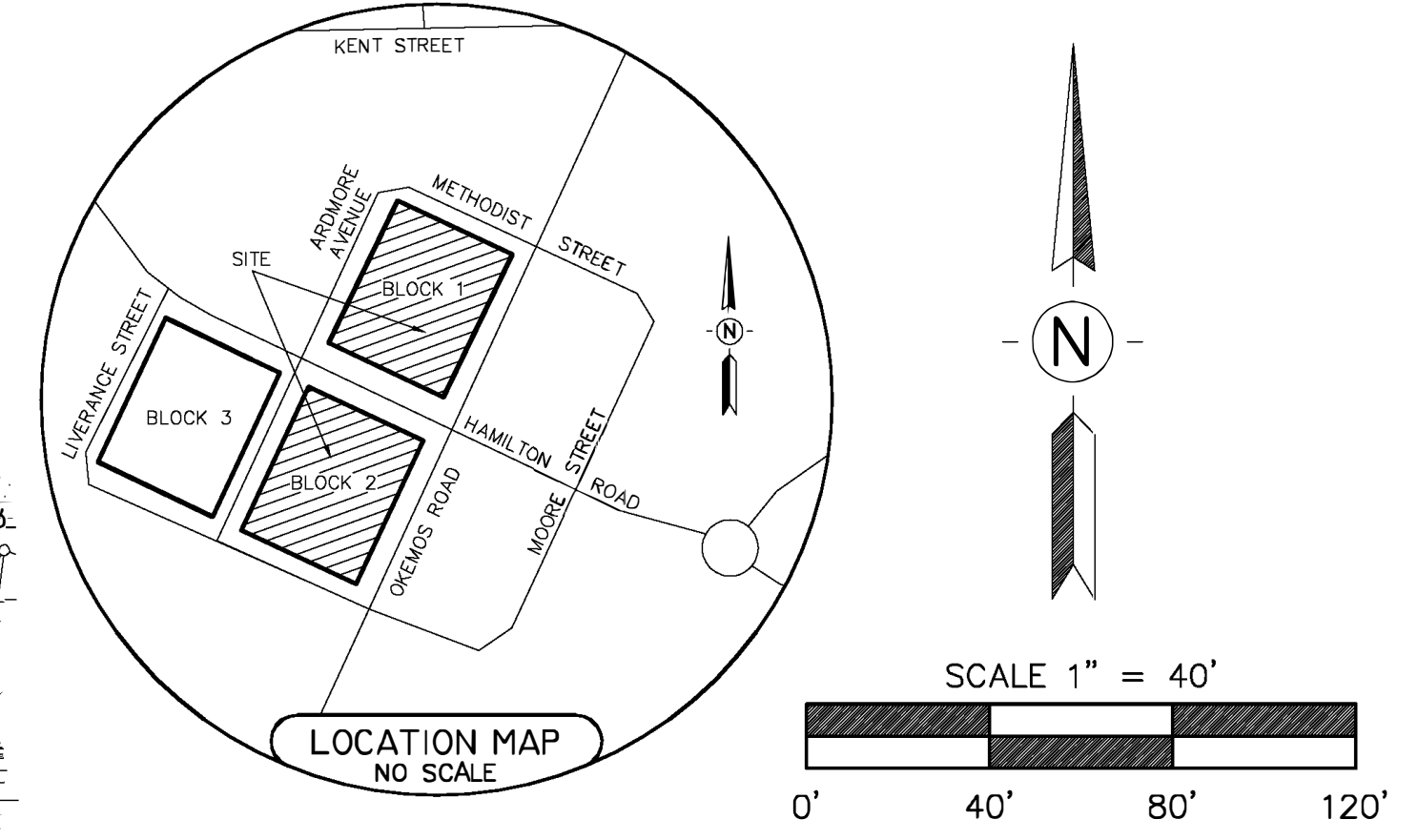
KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS
2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047
Marshall Office
Ph. 269-781-9800

Village of Okemos
AMENITIES PLAN

SCALE: 1" = 40'
DATE: 4-14-19
AUTHORIZED BY:
DOWNTOWN OKEMOS, LLC

VILLAGE OF OKEMOS

MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN



LEGAL DESCRIPTION:
 (As provided by Transnation Title Agency, underwritten by Fidelity National Title Insurance Company, Commitment No. 221445LANS, dated August 15, 2017)

Parcel 1:
 Lots 1, 5, 6, 7 & 8 and the South 66 feet of Lot 2, all in Block 5, Village of Okemos (formerly Village of Hamilton), Meridian Township, Ingham County, Michigan, as recorded in Liber 11 of Deeds, Page 2.

(As provided by Transnation Title Agency, Commitment No. 221458LANS, dated August 15, 2017)

Lots 3, 4, and the North 99 feet of Lot 2, all in Block 5, Village of Okemos (formerly Village of Hamilton), Township of Meridian, Ingham County, Michigan, as recorded in Liber 11 of Deeds, Page 2.

BENCHMARKS

BENCHMARK #1 ELEV. = 852.30 (NAVD88)
 PK NAIL, WEST SIDE UTILITY POLE, WEST SIDE OF OKEMOS ROAD, ±42' SOUTH OF BUILDING #4661 OKEMOS ROAD.

BENCHMARK #2 ELEV. = 846.57 (NAVD88)
 PK NAIL, SOUTHEAST SIDE UTILITY POLE, WEST SIDE OF ARDMORE AVENUE, ON LINE WITH SOUTHERLY PARCEL LINE.

BENCHMARK #3 ELEV. = 856.59 (NAVD88)
 RAILROAD SPIKE, NORTHWEST SIDE UTILITY POLE, NORTHEAST QUADRANT OF ARDMORE AVENUE AND HAMILTON ROAD.

LEGEND

●	= SET 1/2" BAR WITH CAP	⊙	= SANITARY MANHOLE
□	= FOUND IRON AS NOTED	⊕	= DRAINAGE MANHOLE
—	= DEED LINE	⊖	= ELECTRIC MANHOLE
—	= DISTANCE NOT TO SCALE	⊗	= TELEPHONE MANHOLE
—	= FENCE	⊙	= CATCH BASIN
▨	= ASPHALT	⊙	= SANITARY CLEANOUT
▩	= CONCRETE	⊙	= FIRE HYDRANT
▧	= GRAVEL	⊙	= VALVE
▩	= ADA PLATE	⊙	= UTILITY POLE
—	= EXISTING SPOT ELEVATION	⊙	= LIGHT POLE
—	= EXISTING CONTOUR ELEVATION	⊙	= GROUND LIGHT
—	= BUILDING OVERHANG	⊙	= TRAFFIC SIGNAL
—	= SANITARY SEWER	⊙	= GUY WIRE
—	= STORM SEWER	⊙	= UTILITY PEDESTAL
—	= WATER LINE	⊙	= TRANSFORMER
—	= GAS LINE	⊙	= HANDHOLE
—	= UNDERGROUND TELEPHONE	⊙	= ELECTRIC METER
—	= UNDERGROUND TELEVISION	⊙	= GAS METER
—	= UNDERGROUND ELECTRIC	⊙	= WATER METER
—	= OVERHEAD WIRES	⊙	= SIGN
⊙	= DECIDUOUS TREE	⊙	= POST
⊙	= CONIFEROUS TREE	⊙	= AIR CONDITIONING UNIT

SEWER INVENTORIES

CATCH BASIN #100 RIM ELEV. = 851.88 8" RCP W INV. = 847.69 TOP OF DEBRIS ELEV. = 847.66 SUMP ELEV. = 846.19	CATCH BASIN #110 RIM ELEV. = 844.72 12" RCP N INV. = 838.24 12" RCP SW INV. = 839.01 SUMP ELEV. = 838.12	STORM MANHOLE #101 RIM ELEV. = 852.29 12" RCP E INV. = 846.78 15" RCP S ELEV. = 848.59 12" RCP W INV. = 846.90 TOP OF DEBRIS ELEV. = 846.75	CATCH BASIN #102 RIM ELEV. = 851.85 12" RCP E INV. = 847.33 TOP OF DEBRIS ELEV. = 847.35	CATCH BASIN #103 RIM ELEV. = 852.00 SW RESTRICTOR PLATE INV. = 849.23 SW 12" SQUARE OPENING INV. = 848.13 SUMP ELEV. = 846.89	CATCH BASIN #104 RIM ELEV. = 851.00 8" RCP N INV. = 847.68 TOP OF WATER ELEV. = 847.68 SUMP ELEV. = 846.60	CATCH BASIN #105 RIM ELEV. = 849.67 6" VCP NE INV. = 845.07 8" RCP S INV. = 844.91 SUMP ELEV. = 844.17	CATCH BASIN #106 RIM ELEV. = 850.60 8" PVC W TOP OF PIPE ELEV. = 849.12 RIM ELEV. = 848.80	STORM MANHOLE #107 RIM ELEV. = 845.42 10" RCP N INV. = 840.22 12" RCP NE INV. = 838.54 18" RCP W INV. = 837.26	CATCH BASIN #108 RIM ELEV. = 844.38 10" RCP N INV. = 840.43 10" RCP S INV. = 840.39 TOP OF DEBRIS ELEV. = 840.38	CATCH BASIN #109 RIM ELEV. = 844.37 10" RCP S INV. = 840.72 TOP OF DEBRIS ELEV. = 840.47	CATCH BASIN #111 RIM ELEV. = 844.66 12" RCP S INV. = 839.47 SUMP ELEV. = 839.06	CATCH BASIN #112 RIM ELEV. = 850.32 12" RCP S INV. = 847.30 6" VCP E INV. = 847.39 SUMP ELEV. = 847.22	CATCH BASIN #113 RIM ELEV. = 851.08 6" VCP W INV. = 848.40 TOP OF DEBRIS ELEV. = 848.38	CATCH BASIN #114 RIM ELEV. = 850.55 6" VCP SW INV. = 848.23 TOP OF DEBRIS ELEV. = 848.23	CATCH BASIN #115 RIM ELEV. = 850.68 4" VCP SE INV. = 848.55 6" PVC SW INV. = 848.52 SUMP ELEV. = 848.43	CATCH BASIN #116 RIM ELEV. = 850.06 12" RCP NE INV. = 846.01 4" VCP NW INV. = 848.11 TOP OF DEBRIS ELEV. = 845.76	CATCH BASIN #117 RIM ELEV. = 850.01 12" RCP NE INV. = 845.88 TOP OF DEBRIS ELEV. = 845.88	STORM MANHOLE #118 RIM ELEV. = 849.82 12" RCP E INV. = 845.66 12" RCP SW INV. = 845.77 12" RCP W INV. = 845.77 TOP OF DEBRIS ELEV. = 845.86	CATCH BASIN #119 RIM ELEV. = 849.25 12" RCP NW INV. = 845.94 SUMP ELEV. = 844.75	STORM MANHOLE #120 RIM ELEV. = 849.59 12" RCP N INV. = 844.58 12" RCP SE INV. = 844.93 12" RCP SW INV. = 844.74 SUMP ELEV. = 844.09	CATCH BASIN #121 RIM ELEV. = 849.28 12" RCP N INV. = 840.68 8" RCP NE INV. = 844.49 12" RCP E INV. = 840.65 12" RCP S INV. = 843.19 8" RCP W INV. = 845.02	CATCH BASIN #122 RIM ELEV. = 849.72 8" RCP E INV. = 845.86 SUMP ELEV. = 843.42	CATCH BASIN #123 RIM ELEV. = 849.30 8" RCP SW INV. = 844.59 TOP OF DEBRIS ELEV. = 844.33	CATCH BASIN #124 RIM ELEV. = 848.90 8" METAL E INV. = 841.49 12" RCP S INV. = 841.49 15" RCP W INV. = 838.23 SUMP ELEV. = 841.49	CATCH BASIN #125 RIM ELEV. = 848.84 8" RCP E INV. = 845.44 6" PVC NW INV. = 845.49 SUMP ELEV. = 845.24	CATCH BASIN #126 RIM ELEV. = 848.50 6" VCP SE INV. = 846.15 TOP OF DEBRIS ELEV. = 846.10	CATCH BASIN #127 RIM ELEV. = 848.24 8" PVC N INV. = 844.49 SUMP ELEV. = 840.92	STORM MANHOLE #128 RIM ELEV. = 847.24 8" VCP NE INV. = 844.05 8" PVC S INV. = 844.05 12" RCP SW INV. = 844.04 18" RCP W INV. = 834.37	CATCH BASIN #129 RIM ELEV. = 848.81 4" INV. = 845.28 12" RCP NW INV. = 845.19 SUMP ELEV. = 844.81	CATCH BASIN #130 RIM ELEV. = 848.88 12" RCP E INV. = 844.91 12" RCP SE INV. = 844.93 SUMP ELEV. = 843.68	CATCH BASIN #131 RIM ELEV. = 846.24 15" RCP N INV. = 840.99 15" RCP E INV. = 839.05 8" VCP SW INV. = 842.60 12" RCP W INV. = 843.06 SUMP ELEV. = 838.86	CATCH BASIN #132 RIM ELEV. = 846.00 15" RCP S INV. = 841.09 SUMP ELEV. = 838.70	STORM MANHOLE #133 RIM ELEV. = 846.58 12" RCP N INV. = 838.88 18" RCP E INV. = 834.69 12" RCP S INV. = 840.04 15" RCP W INV. = 838.23 SUMP ELEV. = 841.49	CATCH BASIN #134 RIM ELEV. = 846.71 TOP OF DEBRIS ELEV. = 845.41	STORM MANHOLE #135 RIM ELEV. = 846.67 12" RCP NE INV. = 840.73 12" RCP NW INV. = 842.62 SUMP ELEV. = 838.56	CATCH BASIN #136 RIM ELEV. = 846.68 12" RCP E INV. = 843.69 12" RCP NW INV. = 842.89 SUMP ELEV. = 840.92	STORM MANHOLE #137 RIM ELEV. = 846.55 12" RCP N INV. = 841.45 18" RCP E INV. = 833.92 8" PVC S INV. = 833.83 12" RCP SW INV. = 840.56 18" RCP W INV. = 834.37	CATCH BASIN #138 RIM ELEV. = 851.94 12" RCP S INV. = 847.59 SUMP ELEV. = 840.09	CATCH BASIN #140 RIM ELEV. = 838.40 8" PVC NW INV. = 836.40 SUMP ELEV. = 836.15	CATCH BASIN #141 RIM ELEV. = 839.97 18" RCP NW INV. = 834.70 18" RCP E INV. = 834.52 8" PVC SE INV. = 835.11	CATCH BASIN #142 RIM ELEV. = 841.24 12" RCP SE INV. = 834.56 18" RCP S INV. = 834.18 18" RCP W INV. = 834.14	CATCH BASIN #143 RIM ELEV. = 840.02 10" RCP N INV. = 835.36 12" RCP NW INV. = 835.34 SUMP ELEV. = 835.02	CATCH BASIN #144 RIM ELEV. = 841.65 6" PVC NE INV. = 840.41 4" PVC SE INV. = 839.15 10" RCP S INV. = 837.38 SUMP ELEV. = 836.75	STORM MANHOLE #145 RIM ELEV. = 837.27 18" RCP E INV. = 832.65 12" RCP S INV. = 832.97 18" RCP W INV. = 832.63	CATCH BASIN #146 RIM ELEV. = 836.92 6" PVC N INV. = 834.15 SUMP ELEV. = 833.47	CATCH BASIN #147 RIM ELEV. = 837.62 12" RCP S INV. = 833.02 10" RCP W INV. = 833.13 TOP OF DEBRIS INV. = 833.47	CATCH BASIN #148 RIM ELEV. = 834.15 10" RCP E INV. = 834.15 TOP OF DEBRIS INV. = 833.93	CATCH BASIN #149 RIM ELEV. = 851.94 6" VCP N INV. = 847.59 6" VCP S INV. = 847.49	CATCH BASIN #150 RIM ELEV. = 852.07 TOP OF DEBRIS INV. = 850.07	SANITARY MANHOLE #200 RIM ELEV. = 845.38 8" VCP N INV. = 836.58 8" VCP SE INV. = 836.72	SANITARY MANHOLE #201 RIM ELEV. = 851.97 8" VCP E INV. = 844.36 8" VCP E INV. = 835.34 8" VCP S INV. = 835.23 8" VCP W INV. = 831.17	SANITARY MANHOLE #202 RIM ELEV. = 844.30 8" VCP N INV. = 832.60 8" VCP E INV. = 831.28 8" VCP S INV. = 833.77 8" VCP W INV. = 831.17	SANITARY MANHOLE #203 RIM ELEV. = 847.01 6" VCP S INV. = 834.83 6" VCP W INV. = 835.03	SANITARY MANHOLE #204 RIM ELEV. = 852.05 8" VCP N INV. = 840.56	SANITARY MANHOLE #205 RIM ELEV. = 849.65 8" VCP N INV. = 838.88 8" VCP E INV. = 838.97 8" VCP S INV. = 839.51 8" VCP W INV. = 839.58	SANITARY MANHOLE #206 RIM ELEV. = 852.04 8" VCP N INV. = 840.63 8" VCP S INV. = 840.71	SANITARY MANHOLE #207 RIM ELEV. = 846.39 8" VCP N INV. = 835.95 8" VCP S INV. = 837.00 8" VCP W INV. = 837.61	SANITARY MANHOLE #208 RIM ELEV. = 851.62 8" VCP E INV. = 840.11 6" VCP SW INV. = 840.41 6" VCP NW INV. = 840.54	SANITARY MANHOLE #209 RIM ELEV. = 842.15 8" VCP N INV. = 833.91 6" VCP S INV. = 833.91	SANITARY MANHOLE #210 RIM ELEV. = 839.63 8" VCP N INV. = 829.25 8" VCP E INV. = 829.30	SANITARY MANHOLE #211 RIM ELEV. = 838.82 8" VCP N INV. = 828.24 8" VCP S INV. = 830.50 8" VCP S INV. = 828.26 8" VCP W INV. = 828.22	SANITARY MANHOLE #212 RIM ELEV. = 853.37 8" VCP E INV. = 837.05 8" VCP S INV. = 836.50 8" VCP W INV. = 836.98	SANITARY MANHOLE #213 RIM ELEV. = 854.01 6" VCP N INV. = 841.73 8" VCP W INV. = 841.31
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EXISTING FEATURES PLAN

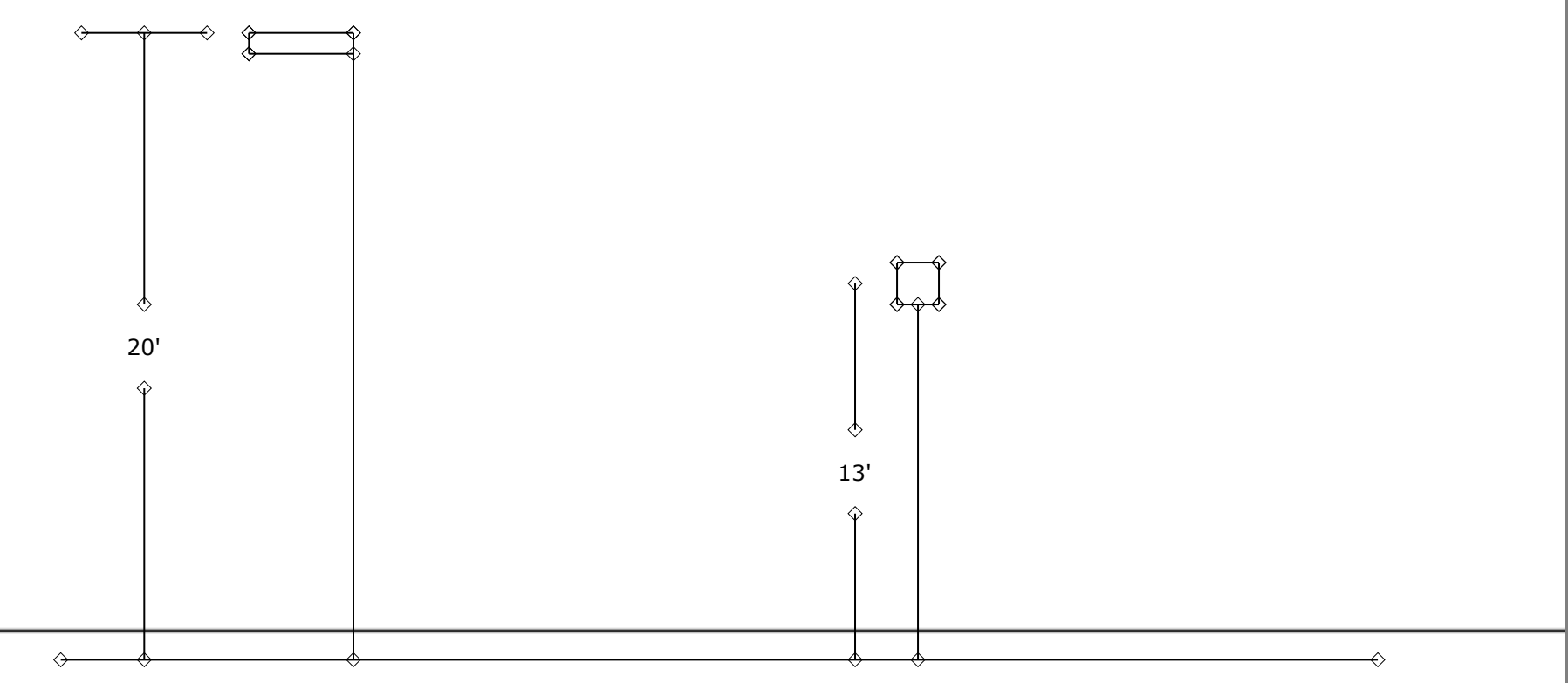
REVISIONS	COMMENTS	KEBS, INC. ENGINEERING AND LAND SURVEYING	
04/15/2019	EXISTING PLAN	2118 HASLETT ROAD, HASLETT, MI 48840	PH. 517-338-1014 FAX WWW.KEBS.COM
Marshall Office - Ph. 269-781-9800			
DRAWN BY	SSF	SECTION	21, T4N, R1W
FIELD WORK BY	NAW/SL	JOB NUMBER:	
SHEET	8 OF 8		93725.ALT

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
J2	J2		2	PRESCOLITE	LTR-60D-H-M20L-0M1/LTR-60D-T-ML40K9WDS	6' LITESTRY Round Downlight, 2000 lumens, 3500K, 80+ CRI, Wide, Specular Clear	1	2177	1	22.7
M1	M1		40	VT Lighting	KSL-WN-D07834013N-XX	AQUA 400, 13 degree reflector	1	700	1	5.6
N	N		27	HUBBELL OUTDOOR	RWL1-48L-20-4K7-4W-UNV-XXX	RWL1 Ratio Wall Luminaire, 48 LED, 20W, 4000K, FORWARD THROW, 120-277V, BRONZE FINISH	1	2672	1	19.9
R1-Existing	R1-Existing		6	King Luminaire	K118-B2AR-III-40(SS)-1042-4K	NVLAP LOGO AND LAB ID NUMBER SHALL NOT BE USED BY THE CLIENT TO CLAIM THE PRODUCT CERTIFICATION, APPROVAL, OR ENDORSEMENT BY NVLAP, NIST, OR ANY GOVERNMENT AGENCY	1	4638	0	0
R1-New	R1-New		6	King Luminaire	K118-B2AR-III-40(SS)-1042-4K	NVLAP LOGO AND LAB ID NUMBER SHALL NOT BE USED BY THE CLIENT TO CLAIM THE PRODUCT CERTIFICATION, APPROVAL, OR ENDORSEMENT BY NVLAP, NIST, OR ANY GOVERNMENT AGENCY	1	4638	1	41.9
R2-Existing	R2-Existing		2	King Luminaire	K118-B2AR-III-40(SS)-1042-4K	NVLAP LOGO AND LAB ID NUMBER SHALL NOT BE USED BY THE CLIENT TO CLAIM THE PRODUCT CERTIFICATION, APPROVAL, OR ENDORSEMENT BY NVLAP, NIST, OR ANY GOVERNMENT AGENCY	1	4638	0	0
R2-Existing-Re-Use	R2-Existing-Re-Use		2	King Luminaire	K118-B2AR-III-40(SS)-1042-4K	NVLAP LOGO AND LAB ID NUMBER SHALL NOT BE USED BY THE CLIENT TO CLAIM THE PRODUCT CERTIFICATION, APPROVAL, OR ENDORSEMENT BY NVLAP, NIST, OR ANY GOVERNMENT AGENCY	1	4638	1	83.8
R2-New	R2-New		3	King Luminaire	K118-B2AR-III-40(SS)-1042-4K	NVLAP LOGO AND LAB ID NUMBER SHALL NOT BE USED BY THE CLIENT TO CLAIM THE PRODUCT CERTIFICATION, APPROVAL, OR ENDORSEMENT BY NVLAP, NIST, OR ANY GOVERNMENT AGENCY	1	4638	1	83.8
P1	P1		2	HUBBELL OUTDOOR	RAR2-480L-255-4K7-2-UNV-XXX	Ratio LED Series, Mounting Type: Square Arm mount, Finish Type: Bronze, Wattage: 257 W, Number of LEDs: 480, Color Temperature: 4000 K, Light Distribution: IES TYPE II, Lumens: 36000 lm, Voltage Rating: 120-277 V.	1	36860	1	257
P2	P2		4	HUBBELL OUTDOOR	RAR2-480L-185-4K7-4W-UNV-XXX	Ratio LED Series, Mounting Type: Square Arm mount, Finish Type: Bronze, Wattage: 185 W, Number of LEDs: 480, Color Temperature: 4000 K, Light Distribution: IES TYPE IV, Lumens: 24000 lm, Voltage Rating: 120-277 V.	1	25853	1	349

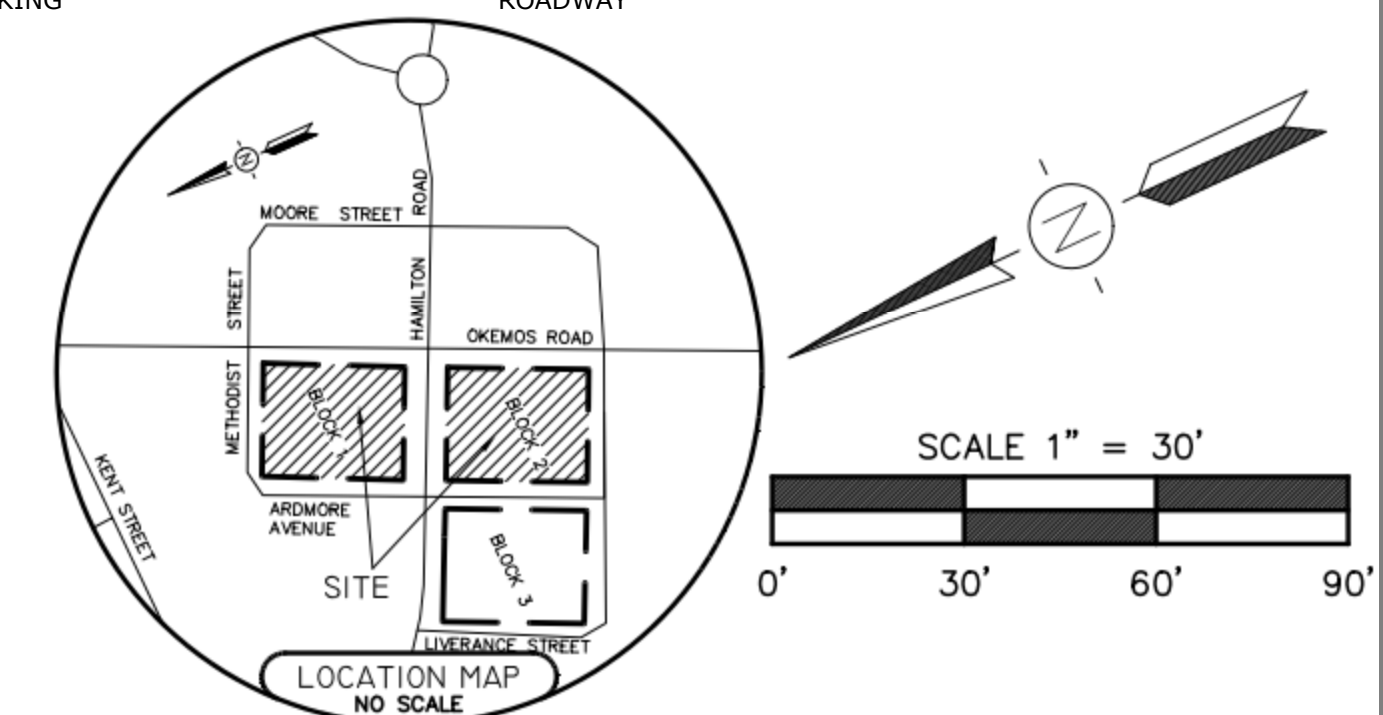
Note

SITE INFO
ACRES 3.99
ALLOWABLE LUMENS 598,500

TYPE	QTY	LUMENS	TOTAL
J2	2	2177	4,354
M1	40	700	27,300
N	27	2672	77,488
R1-NEW	6	4368	26,208
R1-EXISTING	6	4368	26,208
R2-EXISTING-RE-USE	2(4)	4368(8,736)	17,472
R2-NEW	3(6)	4368(8,736)	26,208
R2-RE-USE EXISTING	2(4)	4368(8,736)	17,472
P1	2	36,860	73,720
P2	4(8)	25,853(51,706)	206,824
		TOTAL	503,254



CONSTRUCTION PLANS FOR:
Village of Okemos
MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

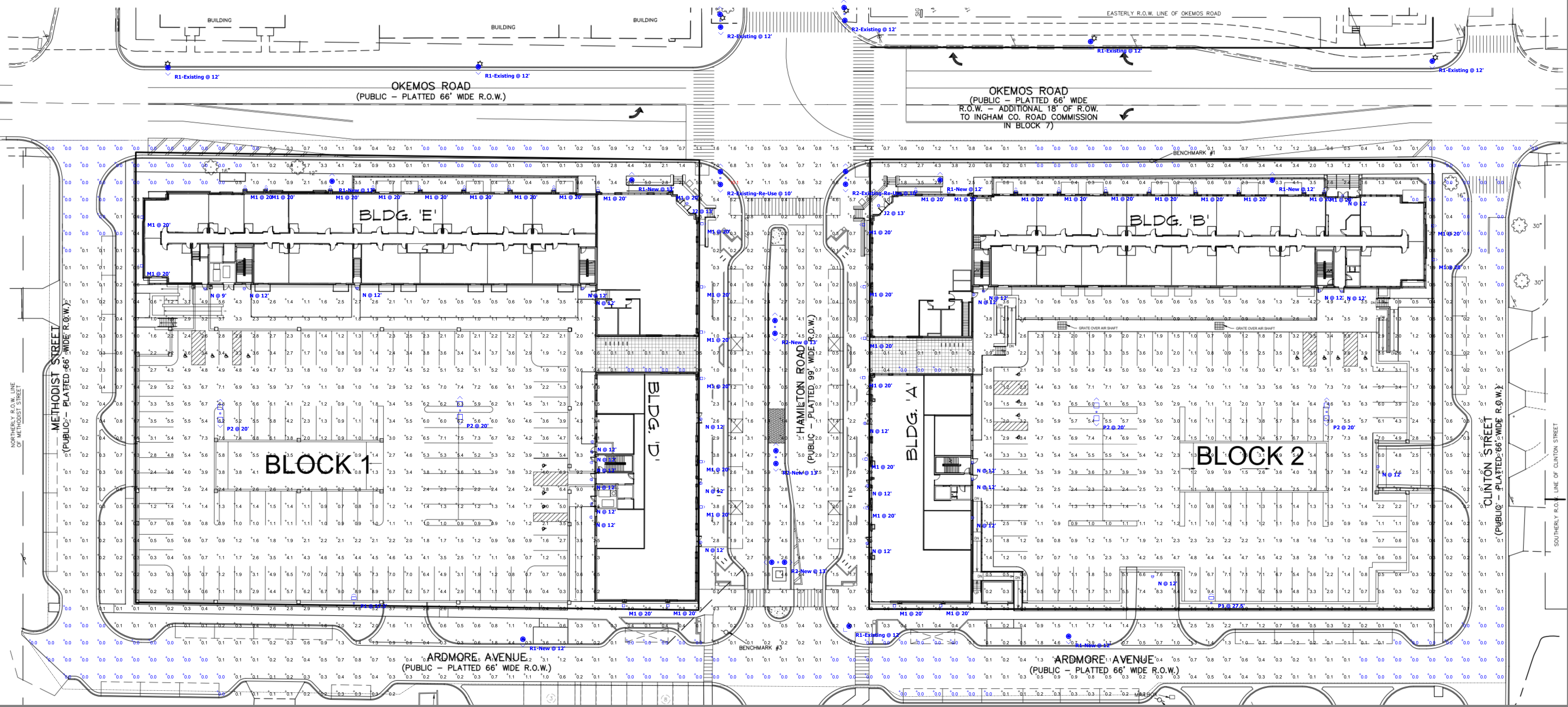


Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.8 fc	10.1 fc	0.0 fc	N/A	N/A

MANHOLE INVENTORIES

IN #10 = 851.38 RIM ELEV. = 845.50 IN. = 847.69 BRIS. ELEV. = 847.66 TOP OF DEBRIS ELEV. = 846.10 = 846.19	CATCH BASIN #126 (DEMO) RIM ELEV. = 845.50 6" PVC SE INV. = 846.15 TOP OF DEBRIS ELEV. = 846.10
IN #11 = 852.29 RIM ELEV. = 845.24 IN. = 846.78 ELEV. = 846.59 IN. = 846.90 BRIS. ELEV. = 846.75	CATCH BASIN #127 (DEMO) RIM ELEV. = 845.24 8" PVC N INV. = 844.49 SUMP ELEV. = 844.04
IN #12 = 851.92 RIM ELEV. = 847.24 IN. = 847.33 BRIS. ELEV. = 847.35	CATCH BASIN #128 (DEMO) RIM ELEV. = 847.24 8" VCP NE INV. = 844.05 8" PVC S INV. = 844.05 TOP OF DEBRIS ELEV. = 844.04
IN #13 (DEMO) = 852.29 RIM ELEV. = 845.24 IN. = 847.68 BRIS. ELEV. = 847.68 TOP OF DEBRIS ELEV. = 844.81 = 846.60	CATCH BASIN #129 (DEMO) RIM ELEV. = 845.81 4" S INV. = 845.28 12" RCP NW INV. = 845.19 SUMP ELEV. = 844.81
IN #14 (DEMO) = 851.30 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #130 (ADJUST TO 849.42) 12" RCP E INV. = 844.91 12" RCP SE INV. = 844.93 (REMOVE) SUMP ELEV. = 843.60 PROP. IE 12" NW @ 844.93
IN #15 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #131 RIM ELEV. = 846.24 15" RCP N INV. = 840.99 15" RCP E INV. = 839.05 8" VCP SW INV. = 842.60 12" RCP W INV. = 843.06 SUMP ELEV. = 838.86
IN #16 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #132 RIM ELEV. = 846.00 15" RCP S INV. = 841.09 SUMP ELEV. = 838.70
IN #17 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	STORM MANHOLE #133 RIM ELEV. = 846.58 12" RCP E INV. = 838.88 15" RCP E INV. = 834.69 12" RCP S INV. = 840.04 15" RCP W INV. = 838.23
IN #18 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #134 RIM ELEV. = 846.71 TOP OF DEBRIS ELEV. = 845.41
IN #19 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	STORM MANHOLE #135 RIM ELEV. = 846.57 12" RCP NE INV. = 840.73 12" RCP SE INV. = 842.62 SUMP ELEV. = 838.56
IN #20 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #136 RIM ELEV. = 846.68 12" RCP E INV. = 843.69 12" RCP NW INV. = 842.89 SUMP ELEV. = 840.92
IN #21 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	STORM MANHOLE #137 RIM ELEV. = 846.55 12" RCP N INV. = 841.45 12" RCP S INV. = 833.92 24" RCP E INV. = 833.83 12" RCP SW INV. = 840.56 15" RCP W INV. = 834.37
IN #22 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #138 RIM ELEV. = 846.01 12" RCP S INV. = 841.59 SUMP ELEV. = 836.15
IN #23 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #140 RIM ELEV. = 838.40 8" PVC NW INV. = 836.40 SUMP ELEV. = 836.15
IN #24 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	STORM MANHOLE #141 RIM ELEV. = 839.97 15" RCP NW INV. = 834.70 15" RCP E INV. = 834.52 8" PVC SE INV. = 835.11
IN #25 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	STORM MANHOLE #142 RIM ELEV. = 841.24 12" RCP SE INV. = 834.56 15" RCP S INV. = 834.18 15" RCP W INV. = 834.14
IN #26 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #143 RIM ELEV. = 840.02 10" RCP N INV. = 833.36 12" RCP NW INV. = 833.54 SUMP ELEV. = 835.02
IN #27 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #144 RIM ELEV. = 841.65 6" PVC NE INV. = 840.41 4" PVC SE INV. = 838.15 10" RCP S INV. = 837.38 SUMP ELEV. = 836.75
IN #28 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	STORM MANHOLE #145 RIM ELEV. = 837.27 15" RCP NW INV. = 836.92 6" PVC N INV. = 834.15 10" RCP S INV. = 833.13 TOP OF DEBRIS INV. = 833.47
IN #29 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #146 RIM ELEV. = 841.65 6" PVC NE INV. = 840.41 4" PVC SE INV. = 838.15 10" RCP S INV. = 837.38 SUMP ELEV. = 836.75
IN #30 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #147 RIM ELEV. = 837.62 12" RCP S INV. = 833.02 10" RCP W INV. = 833.13 TOP OF DEBRIS INV. = 833.47
IN #31 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #148 RIM ELEV. = 838.03 10" RCP N INV. = 834.15 TOP OF DEBRIS INV. = 833.93
IN #32 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #149 RIM ELEV. = 851.94 6" VCP S INV. = 847.49
IN #33 (DEMO) = 850.48 RIM ELEV. = 846.24 IN. = 845.07 ELEV. = 844.91 IN. = 847.17	CATCH BASIN #150 RIM ELEV. = 852.27 TOP OF DEBRIS INV. = 850.07



The Village of Okemos
LED Exterior Lighting
Okemos, MI.
Contractor: United Electric

Designer
Tony Burgess
Date
08/25/2022
Scale
Not to Scale
Drawing No.
002
Summary
Design for Township
Approval

REPRESENTATIVE PLANT SCHEDULE

Key	Botanical Name	Common Name	Size	Remarks
AA	Acer saccharum 'Barrett Cole'	Apollo Maple	2" Cal.	
AR	Acer rubrum 'Frank Jr.'	Redpointe Maple	2" Cal.	Min. 6' Branch Ht.
CJ	Cercidiphyllum japonicum	Katsura Tree	2" Cal.	Min. 6' Branch Ht.
CO	Celtis occidentalis	Hackberry	2" Cal.	Min. 6' Branch Ht.
GB	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	2" Cal.	Min. 6' Branch Ht.
GD	Gymnocladus dioica 'Espresso'	Espresso Kentucky Coffeetree	2" Cal.	Min. 6' Branch Ht.
GL	Gleditsia triacanthos var. inermis 'Draves'	Street Keeper Thornless Honeylocust	2" Cal.	Min. 6' Branch Ht.
GS	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2" Cal.	Min. 6' Branch Ht.
GT	Gleditsia triacanthos var. inermis 'Skycole'	Skyline Thornless Honeylocust	2" Cal.	Min. 6' Branch Ht.
OV	Ostrya virginiana	American Hophornbeam	2" Cal.	Min. 6' Branch Ht.
PA	Platanus x acerifolia 'Morton Circle'	Exclamation Planetree	2" Cal.	Min. 6' Branch Ht.
QB	Quercus bicolor	Swamp White Oak	2" Cal.	Min. 6' Branch Ht.
QC	Quercus robur x alba 'Crimson Spire'	Crimson Spire Oak	2" Cal.	
QS	Quercus robur x alba 'Skinny Genes'	Skinny Genes Oak	2" Cal.	
TD	Taxodium distichum	Bald Cypress	2" Cal.	Branched to Ground

Key	Botanical Name	Common Name	Size	Remarks
AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2" Cal.	Min. 6' Branch Ht.
CC	Cercis canadensis	Eastern Redbud	6" Ht.	Multi-stem
CM	Cornus mas 'Golden Glory'	Golden Glory Cornelian Cherry Dogwood	6" Ht.	Multi-stem
SR	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2" Cal.	Min. 6' Branch Ht.

Key	Botanical Name	Common Name	Size	Remarks
BG	Buxus 'Green Gem'	Green Gem Boxwood	18" Spd.	3' O.C.
JC	Juniperus chinensis 'Daub's Frosted'	Daub's Frosted Juniper	18" Spd.	3.5' O.C.
JP	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay's Compact Juniper	18" Spd.	3.5' O.C.
PM	Pinus mugo 'Slowmound'	Slowmound Dwarf Mugo Pine	18" Spd.	3' O.C.

Key	Botanical Name	Common Name	Size	Remarks
AL	Aronia melanocarpa 'Low Scape Mound'	Low Scape Mound Chokeberry	18" Spd.	2.5' O.C.
DK	Diervilla 'Kodiak Orange'	Kodiak Orange Honeysuckle	24" Ht.	4' O.C.
HF	Hydrangea paniculata 'Fire Light Tidbit'	Fire Light Tidbit Hydrangea	18" Spd.	3' O.C.
HP	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	18" Spd.	3.5' O.C.
PF	Potentilla fruticosa 'Lundy'	Happy Face Yellow Potentilla	18" Spd.	3' O.C.
PH	Potentilla fruticosa 'Hearts'	Happy Face Hearts Potentilla	18" Spd.	2.5' O.C.
RA	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	18" Spd.	3.5' O.C.
RP	Rosa 'Peach Drift'	Peach Drift Rose	18" Spd.	2.5' O.C.
SJ	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	18" Spd.	3.5' O.C.

Key	Botanical Name	Common Name	Size	Remarks
AB	Amsonia 'Blue Ice'	Blue Ice Blue Star	1 Gallon	2' O.C.
AM	Alchemilla mollis	Lady's Mantle	1 Gallon	18" O.C.
AS	Achillea millefolium 'Saucy Seduction'	Saucy Seduction Yarrow	1 Gallon	18" O.C.
CN	Calamintha nepeta 'Montrose White'	Montrose White Calamint	1 Gallon	2' O.C.
CP	Carex pensylvanica	Pennsylvania Sedge	Plug	8" O.C.
EF	Euonymus fortunei 'Coloratus'	Purple Wintercreeper	Plug	8" O.C.
LS	Liriope spicata	Creeping Lilyturf	Plug	8" O.C.
MC	Molinia caerulea 'Moorflamme'	Flaming Moor Grass	1 Gallon	2' O.C.
NF	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	1 Gallon	2' O.C.
PT	Pachysandra terminalis	Pachysandra	Plug	8" O.C.
RG	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black Eyed Susan	1 Gallon	2' O.C.
SA	Sesleria autumnalis	Autumn Moor Grass	1 Gallon	2' O.C.

LEGEND OF PROPOSED PLANTS AND MATERIALS

	CANOPY TREE
	COLUMNAR CANOPY TREE
	COLUMNAR EVERGREEN TREE
	EVERGREEN SHRUB
	DECIDUOUS SHRUB
	PERENNIAL
	OUTCROPPING
	BOULDER STONE MULCH
	SLATE CHIP STONE MULCH

VEGETATION REMOVAL NOTE

See Civil Engineering dwgs. by KEBS, Inc. for trees, shrubs, brush, and stumps to be removed.

GENERAL NOTES

- Quantities shown are for the convenience of the contractor only. Contractor is responsible for verifying quantities, and for providing sufficient materials to complete the job per plan.
- Some field adjustments may be necessary to ensure that there are no conflicts between existing and proposed plants.
- Fine grade, fertilize and seed all disturbed lawn areas resulting from construction. All lawn areas shall drain completely and shall not pond or puddle. Aerate existing lawn where it has been compacted by equipment.

IRRIGATION NOTES

- Install irrigation system for all proposed plantings and lawn areas.
- Provide separate irrigation zones for lawn, planting beds, and seasonal planters so that run frequencies and times can be customized for the water needs of each type of planting.
 - Design dripline irrigation for all plants in planting beds and seasonal planters
- Minimize overspray onto hard surfaces.
- Irrigation system to include:
 - Rain sensor and weather-responsive controller
 - Water flow sensor and alarm

MERIDIAN TOWNSHIP LANDSCAPE REQUIREMENT CHART

REQUIRED STREET TREES

	REQUIREMENT	PROVIDED
OKEMOS ROAD	STREET TREES	6 STREET TREES
ARDMORE AVENUE	STREET TREES	15 STREET TREES
METHODIST STREET	STREET TREES	5 STREET TREES
HAMILTON ROAD	STREET TREES	15 STREET TREES
CLINTON STREET	STREET TREES	5 STREET TREES

REQUIRED PARKING AREA LANDSCAPING

	REQUIREMENT	PROVIDED
BLOCK 1 PARKING SPACES (ON TOP LEVEL OF PARKING DECK): 104 SPACES	20.8 CANOPY TREES 2,080 S.F. LANDSCAPE AREA	WITHIN BLOCK 1: 9 CANOPY TREES 2,900 S.F. LANDSCAPE AREA AT LIVERANCE PROPERTY: 12 CANOPY TREES
BLOCK 2 PARKING SPACES (ON BASEMENT LEVEL OF PARKING DECK): 91 SPACES	18.2 CANOPY TREES 1,820 S.F. LANDSCAPE AREA	WITHIN BLOCK 2: 6 CANOPY TREES 4,975 S.F. LANDSCAPE AREA AT LIVERANCE PROPERTY: 13 CANOPY TREES

INGHAM COUNTY STORMWATER INFRASTRUCTURE REQUIREMENT CHART

TREES

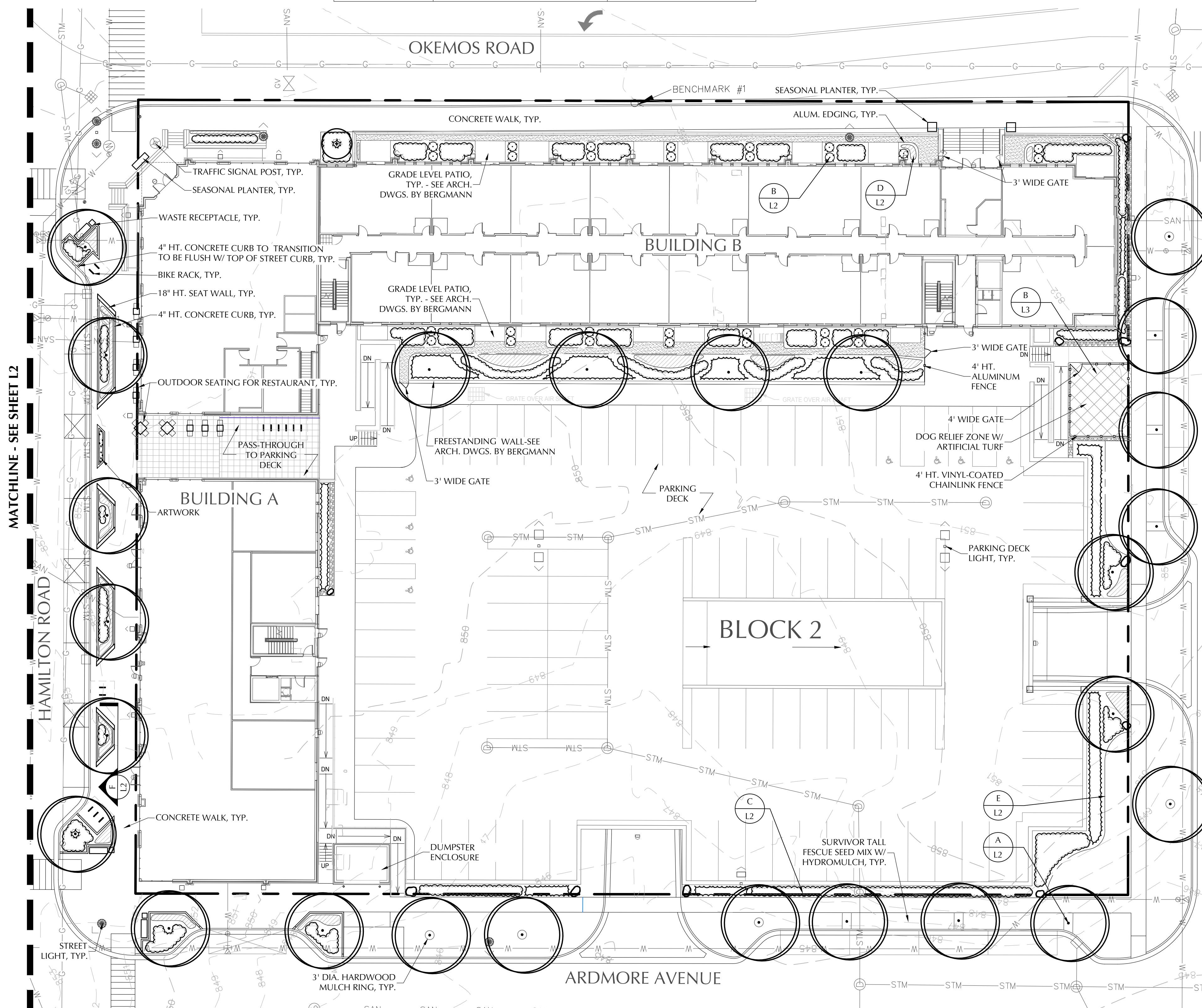
	PROVIDED
LIVERANCE PROPERTY	13 CANOPY TREES (WITHIN BIORETENTION BASIN) 5 CANOPY TREES (OUTSIDE BIORETENTION BASIN) 12 EVERGREEN TREES (OUTSIDE BIORETENTION BASIN)

ABBREVIATIONS

TYPE	DESCRIPTION
ALUM.	ALUMINUM
APPROX.	APPROXIMATELY
ARCH.	ARCHITECTURE
CAL.	CALIPER
C.Y.	CUBIC YARD
DIA.	DIAMETER
DWGS.	DRAWINGS
E.C.B.	EROSION CONTROL BLANKET
EX.	EXISTING
GAL.	GALLON
HT.	HEIGHT
L.F.	LINEAR FEET
MAX.	MAXIMUM
MIN.	MINIMUM
O.C.	ON CENTER
S.F.	SQUARE FEET
SPD.	SPREAD
TYP.	TYPICAL

REFERENCE SYMBOLS

	DETAIL
--	--------



LANDSCAPE PLAN

SCALE: 1" = 20'
SCALE IN FEET: 0' 10' 20' 40'

3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171

CLIENT:
Downtown Okemos, LLC
2362 Jolly Oak Rd.
Okemos, MI 48864
Phone: (517) 580-2550

VILLAGE OF OKEMOS
MERIDIAN TOWNSHIP, INGHAM COUNTY, MI
BUILDINGS A & B LANDSCAPE PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

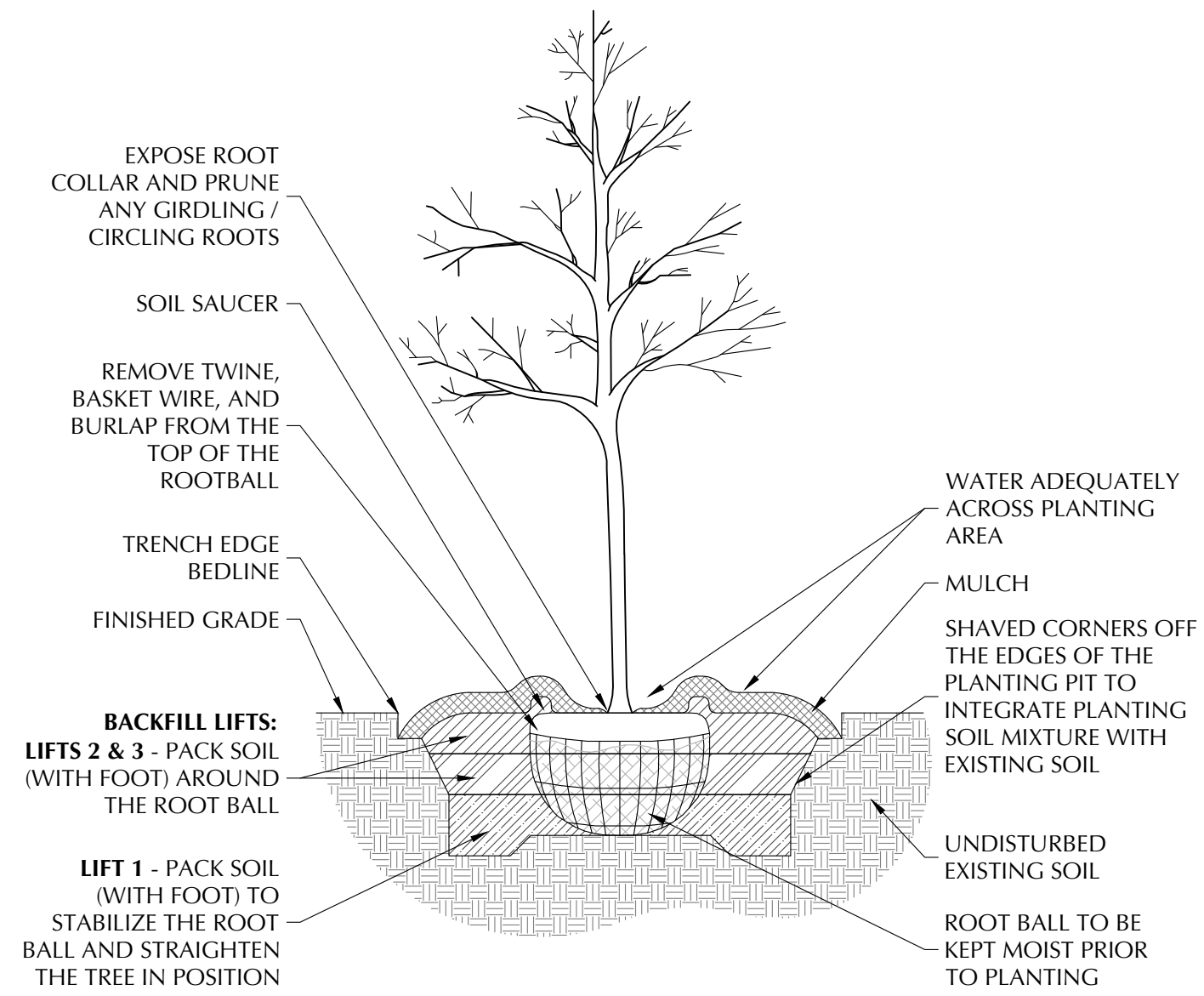


ISSUED:
1/31/22 Submittal
8/29/22 MUPUD Plan

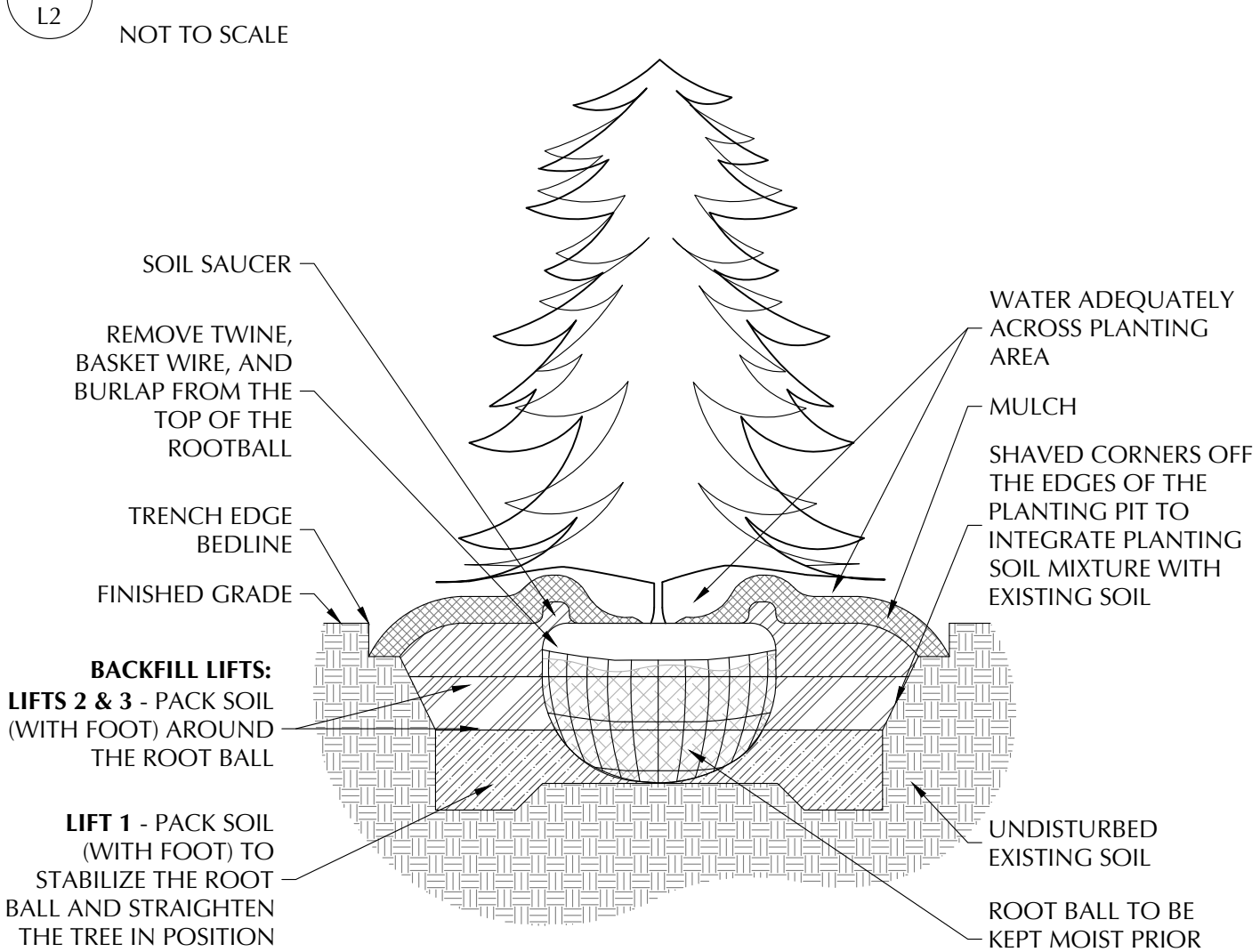
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WC2201
DRAWN BY:
KF, JF
CHECKED BY:
KF
SCALE:
AS INDICATED

SHEET NUMBER:
L1
SHEET 1 OF 3

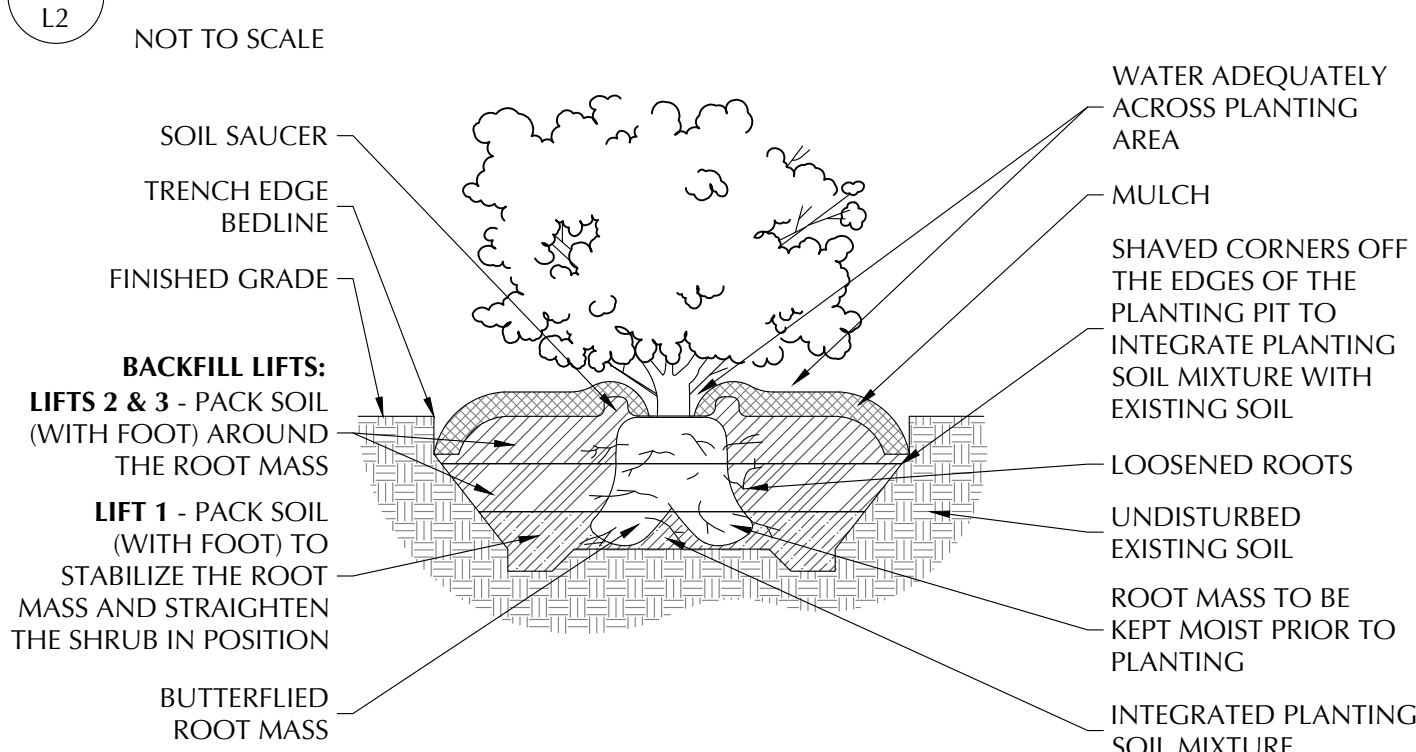
PLANTING DETAILS



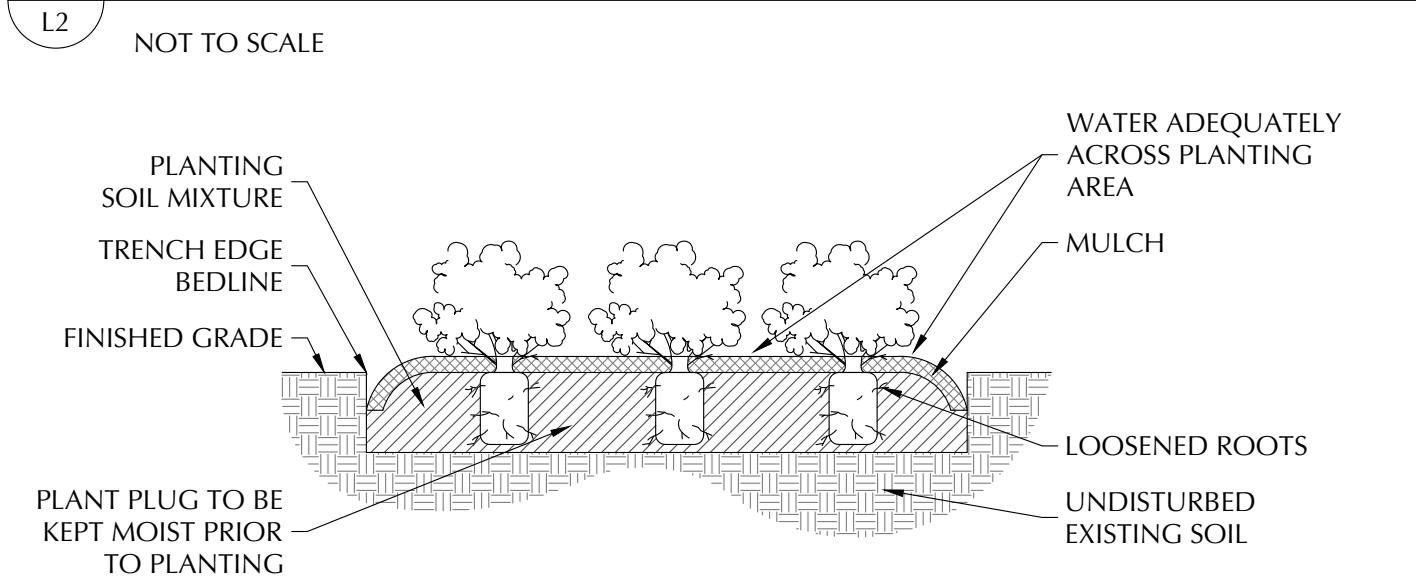
DECIDUOUS TREE PLANTING DETAIL



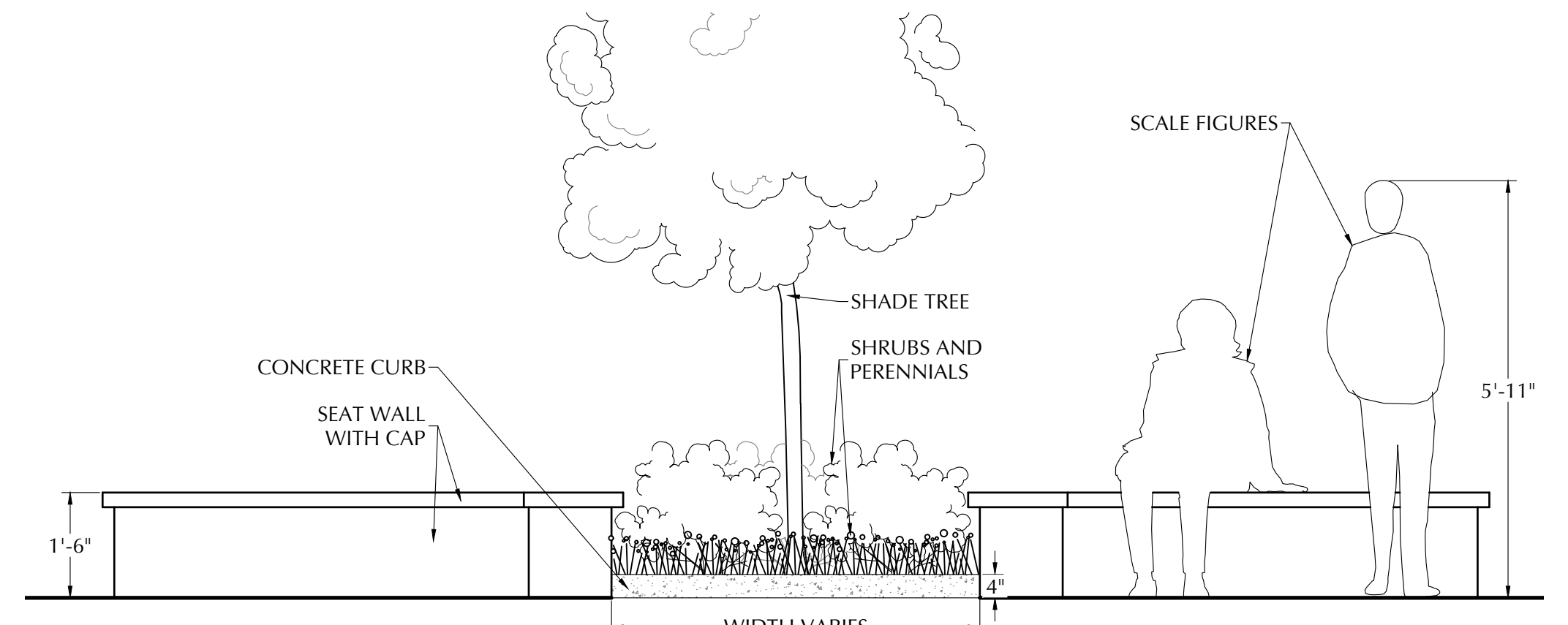
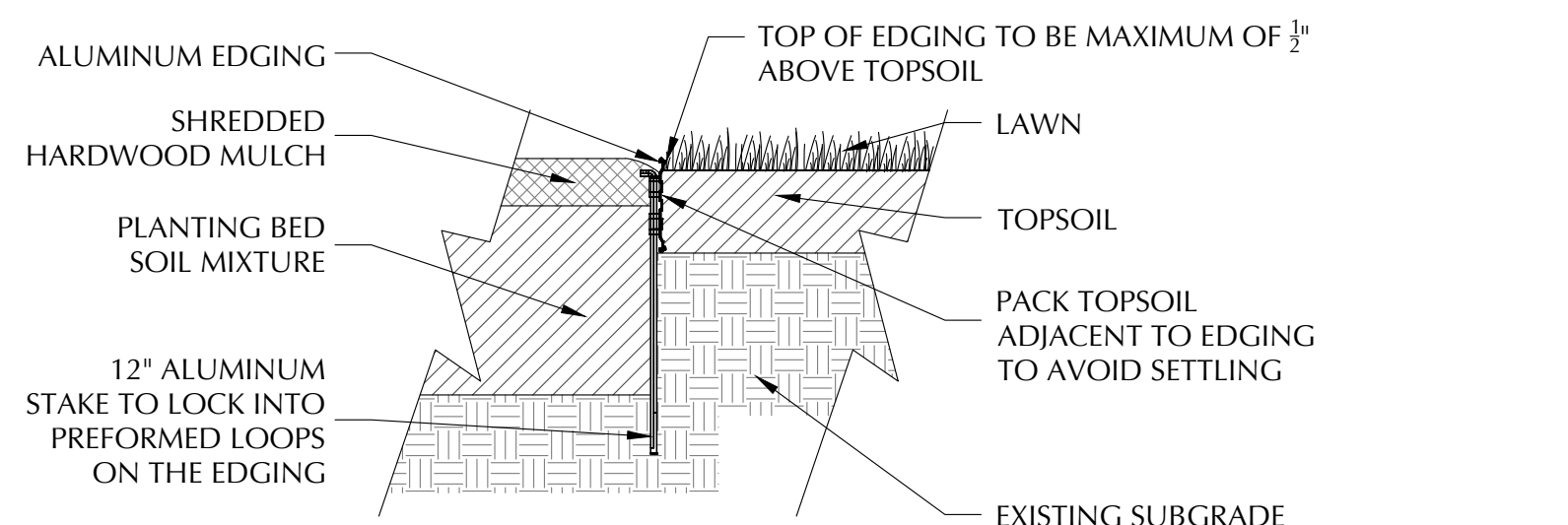
EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



PERENNIAL PLANTING DETAIL

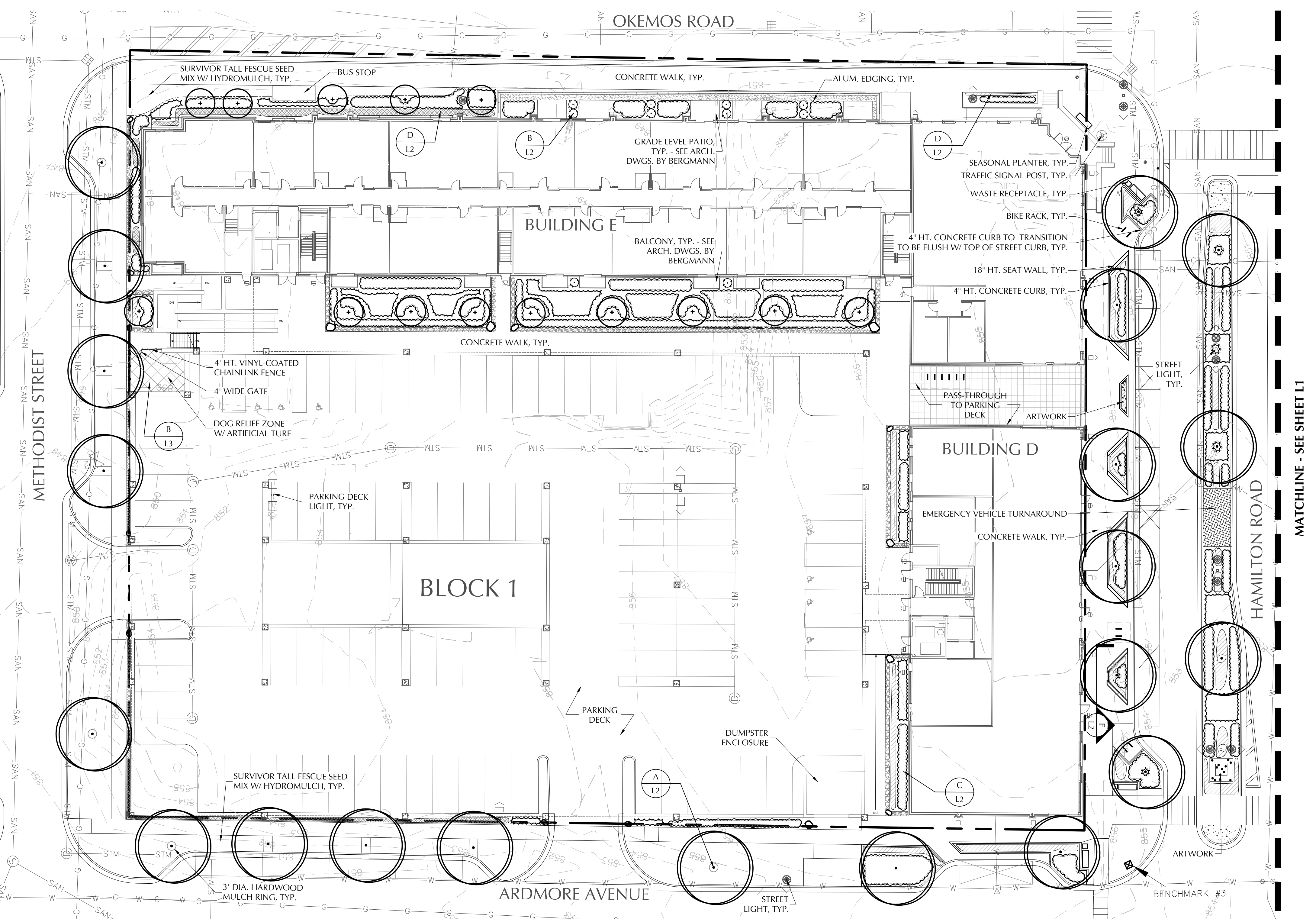


LEGEND OF PROPOSED PLANTS AND MATERIALS

- CANOPY TREE
- COLUMNAR CANOPY TREE
- COLUMNAR EVERGREEN TREE
- EVERGREEN SHRUB
- DECIDUOUS SHRUB
- PERENNIAL
- GROUNDCOVER
- OUTCROPPING
- BOULDER STONE MULCH
- SLATE CHIP STONE MULCH

ALUMINUM EDGING DETAIL FOR HARDWOOD MULCH
NOT TO SCALE

HAMILTON ROAD SEAT WALL ELEVATION
SCALE: 1/2" = 1'0"



LANDSCAPE PLAN
SCALE: 1" = 20'
SCALE IN FEET: 0' 10' 20' 40'

3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171

CLIENT:
Downtown Okemos, LLC
2362 Jolly Oak Rd.
Okemos, MI 48864
Phone: (517) 580-2550

VILLAGE OF OKEMOS
MERIDIAN TOWNSHIP, INGHAM COUNTY, MI
HAMILTON RD STREETScape AND BUILDINGS D & E LANDSCAPE PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
KRISTIN FAASSE
LANDSCAPE ARCHITECT
LICENSED LANDSCAPE ARCHITECT

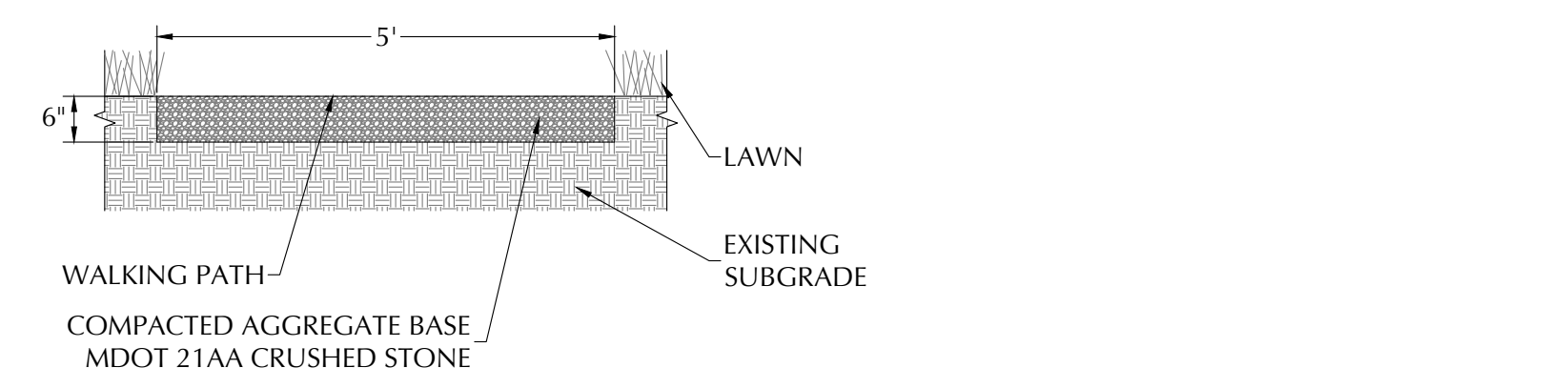
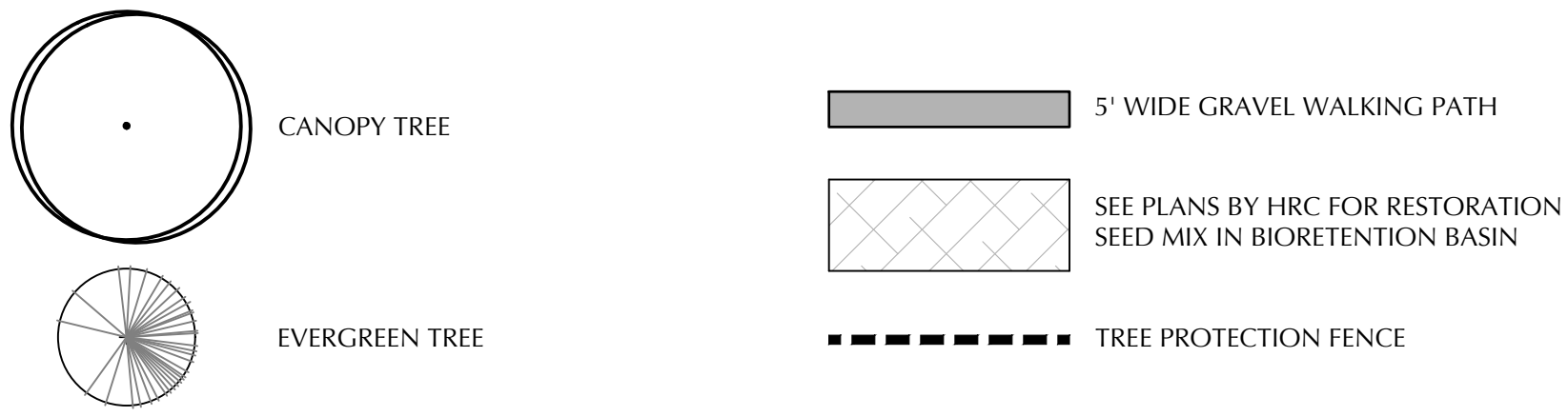
ISSUED:
1/31/22 Submittal
8/29/22 MUPUD Plan

PROJECT NUMBER:
WC2201
DRAWN BY:
KF, JF
CHECKED BY:
KF
SCALE:
AS INDICATED

SHEET NUMBER:
L2
SHEET 2 OF 3

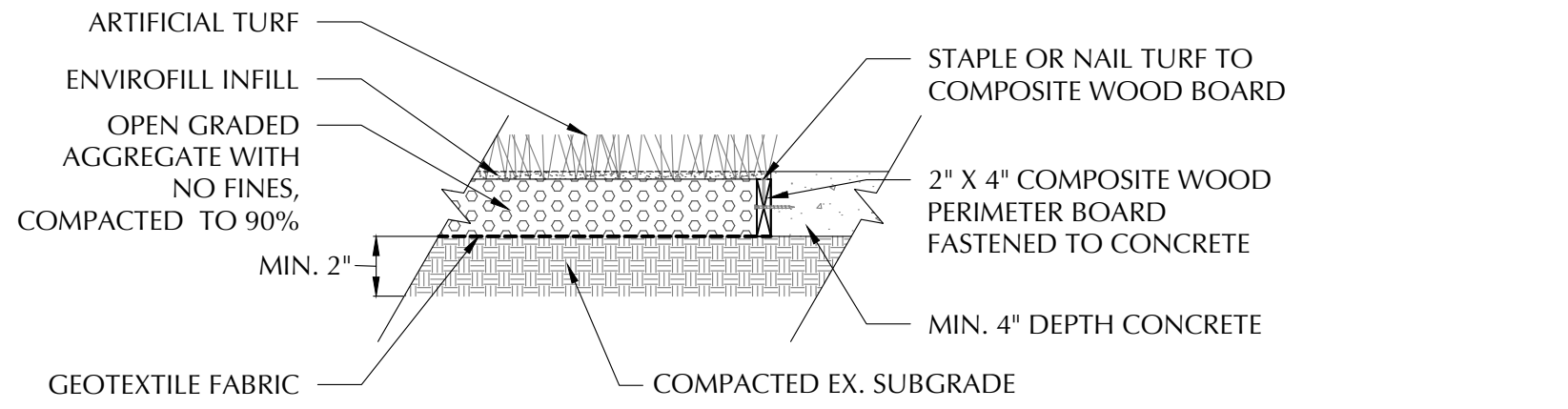
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LEGEND OF PROPOSED PLANTS AND MATERIALS



GRAVEL WALKING PATH SECTION

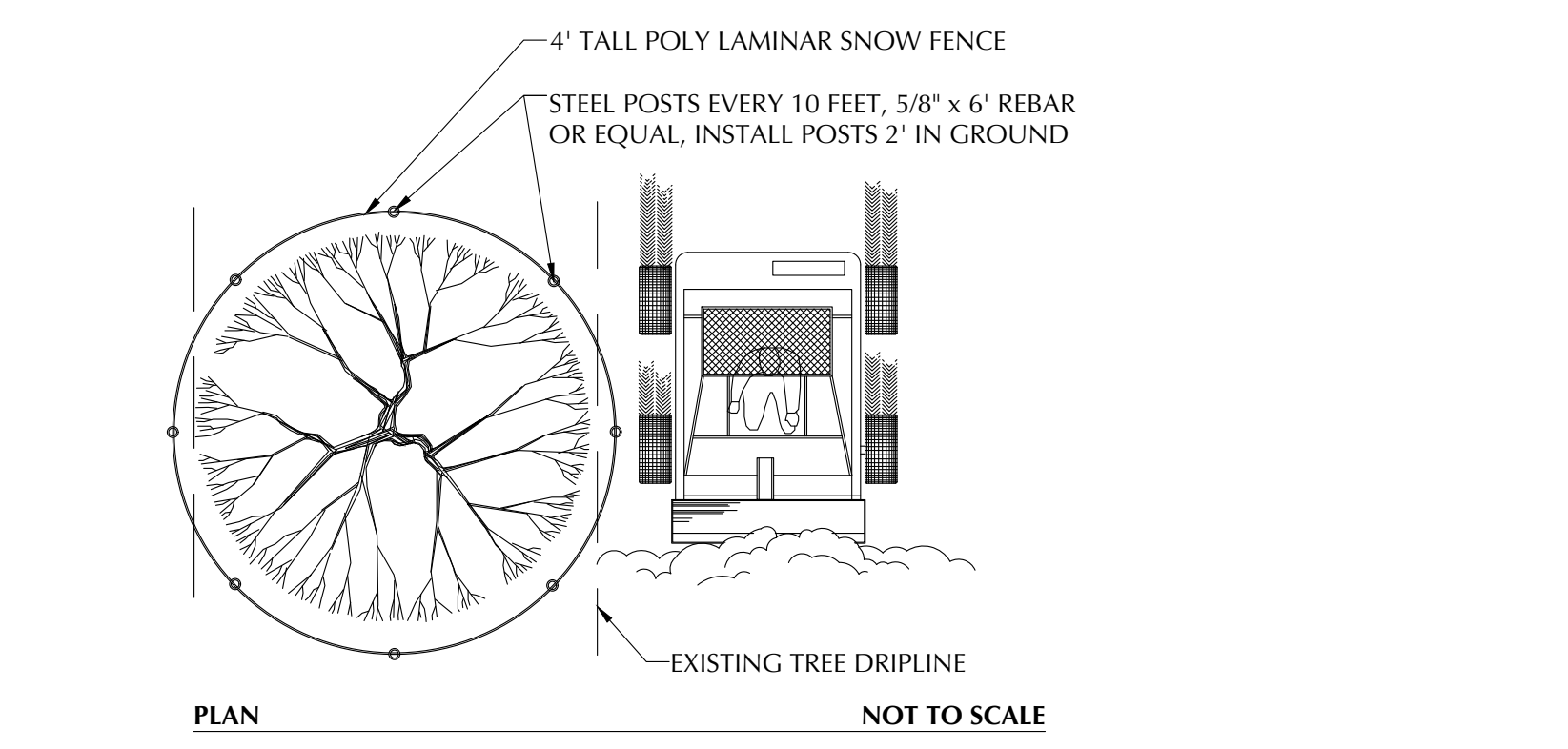
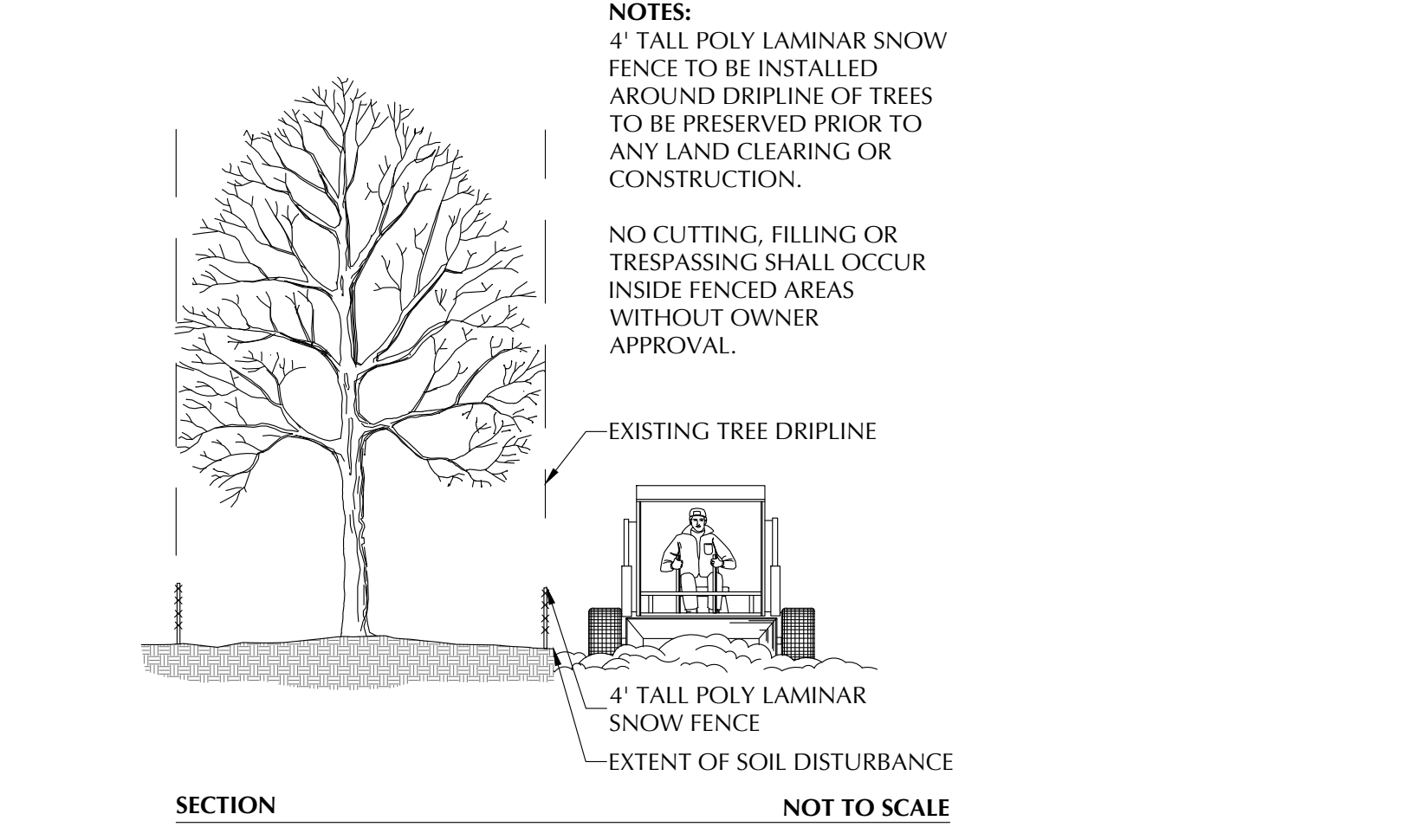
SCALE: 1/2"=1'0"



NOTE:
INSTALL AND SEAM TURF WITH ADJACENT PIECES RUNNING IN THE SAME DIRECTION; GLUE SEAMS WITH SUITABLE SEAMING GLUE AND SEAMING CLOTH, NOT ADHESIVE TAPE.

ARTIFICIAL TURF SECTION

SCALE: 1"=1'0"



TREE PROTECTION FENCE DETAILS

SCALE: NOT TO SCALE



LANDSCAPE PLAN

SCALE: 1" = 20'
SCALE IN FEET: 0' 10' 20' 40'
3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171

CLIENT:
Downtown Okemos, LLC
2362 Jolly Oak Rd.
Okemos, MI 48864
Phone: (517) 580-2550

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MERIDIAN TOWNSHIP, INGHAM COUNTY, MI
BIORETENTION BASIN AND WALKING PATH LANDSCAPE PLAN

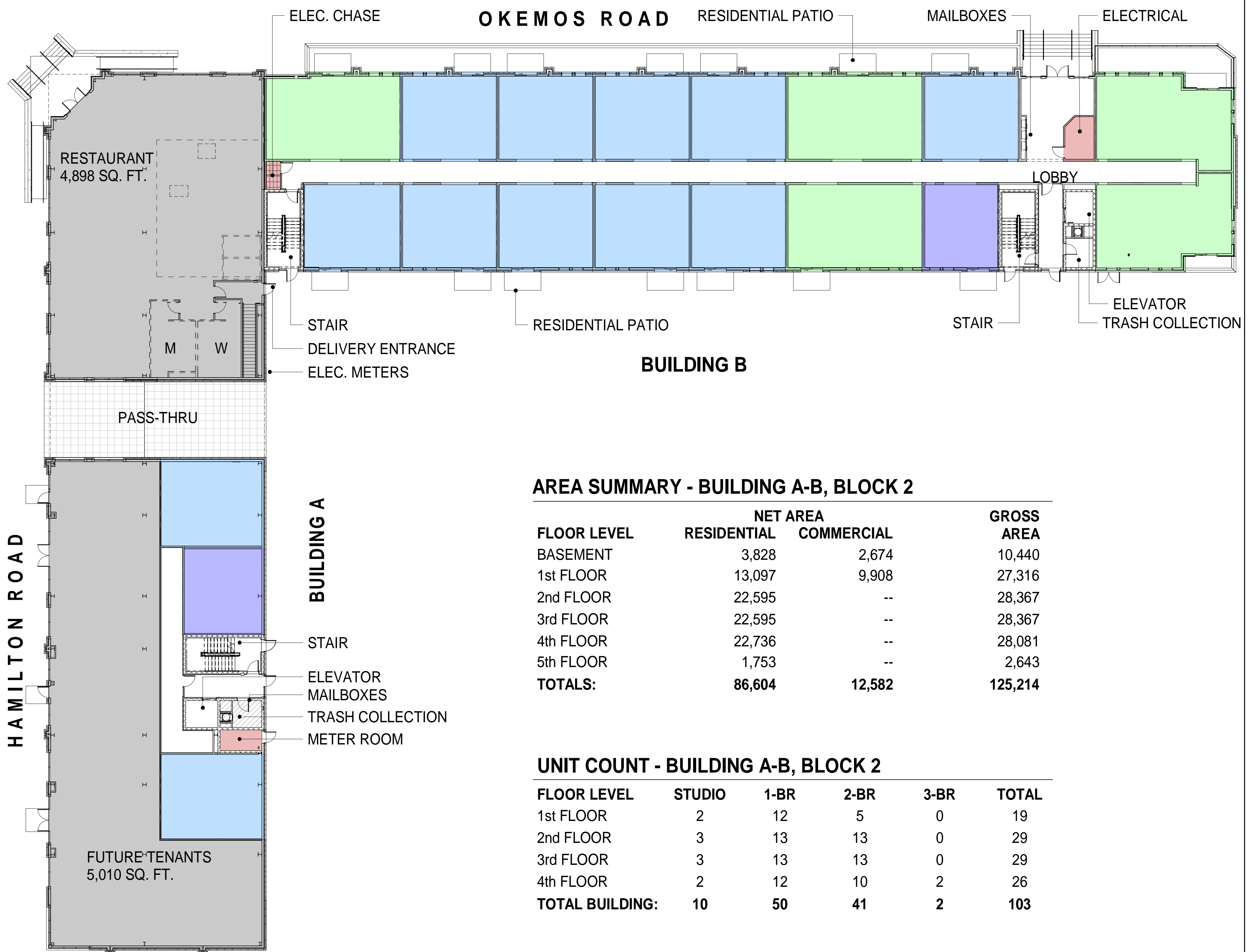
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NOT FOR
CONSTRUCTION



ISSUED:	
1/31/22	Submittal
8/29/22	MUPUD Plan

PROJECT NUMBER:
WC2201
DRAWN BY:
KF, JF
CHECKED BY:
KF
SCALE:
AS INDICATED

SHEET NUMBER:
L3
SHEET 3 OF 3



PROPOSED FIRST FLOOR LAYOUT

SCALE: 1/16" = 1'-0"

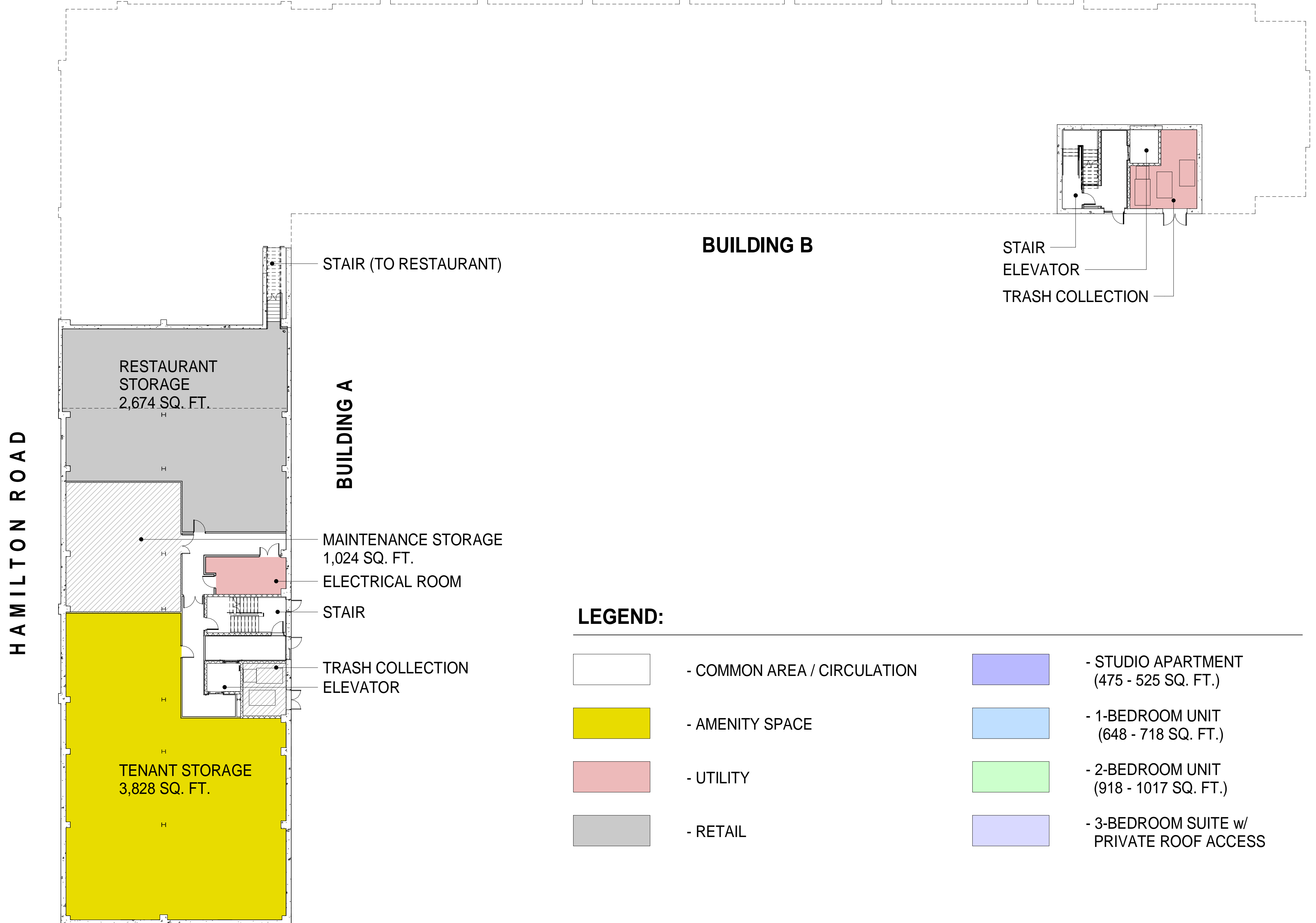
AREA SUMMARY - BUILDING A-B, BLOCK 2

FLOOR LEVEL	NET AREA		GROSS AREA
	RESIDENTIAL	COMMERCIAL	
BASEMENT	3,828	2,674	10,440
1st FLOOR	13,097	9,908	27,316
2nd FLOOR	22,595	--	28,367
3rd FLOOR	22,595	--	28,367
4th FLOOR	22,736	--	28,081
5th FLOOR	1,753	--	2,643
TOTALS:	86,604	12,582	125,214

UNIT COUNT - BUILDING A-B, BLOCK 2

FLOOR LEVEL	STUDIO	1-BR	2-BR	3-BR	TOTAL
1st FLOOR	2	12	5	0	19
2nd FLOOR	3	13	13	0	29
3rd FLOOR	3	13	13	0	29
4th FLOOR	2	12	10	2	26
TOTAL BUILDING:	10	50	41	2	103

OKEMOS ROAD

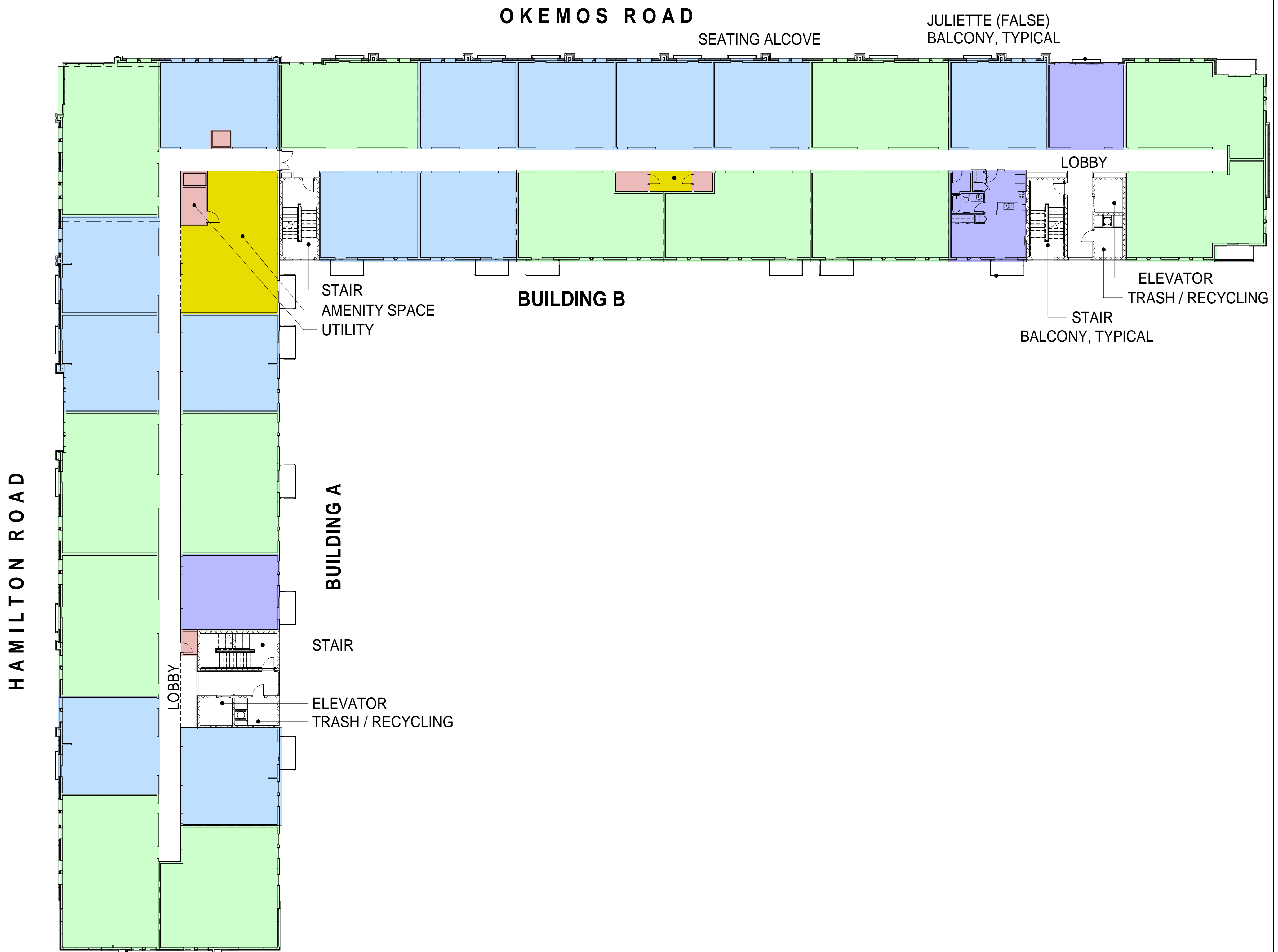


PROPOSED BASEMENT LAYOUT

SCALE: 1/16" = 1'-0"

LEGEND:

	- COMMON AREA / CIRCULATION		- STUDIO APARTMENT (475 - 525 SQ. FT.)
	- AMENITY SPACE		- 1-BEDROOM UNIT (648 - 718 SQ. FT.)
	- UTILITY		- 2-BEDROOM UNIT (918 - 1017 SQ. FT.)
	- RETAIL		- 3-BEDROOM SUITE w/ PRIVATE ROOF ACCESS



SECOND FLOOR PLAN

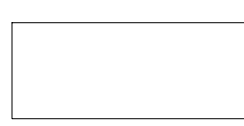




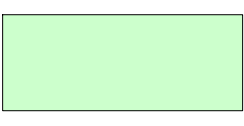


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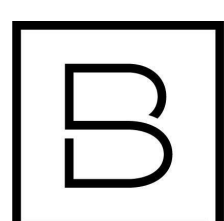
THIRD FLOOR PLAN

SCALE: 1/16" = 1'-0"

LEGEND:

- | | | | |
|---|-----------------------------|---|--|
|  | - COMMON AREA / CIRCULATION |  | - STUDIO APARTMENT (475 - 525 SQ. FT.) |
|  | - AMENITY SPACE |  | - 1-BEDROOM UNIT (648 - 718 SQ. FT.) |
|  | - UTILITY |  | - 2-BEDROOM UNIT (918 - 1017 SQ. FT.) |
|  | - RETAIL |  | - 3-BEDROOM SUITE w/ PRIVATE ROOF ACCESS |

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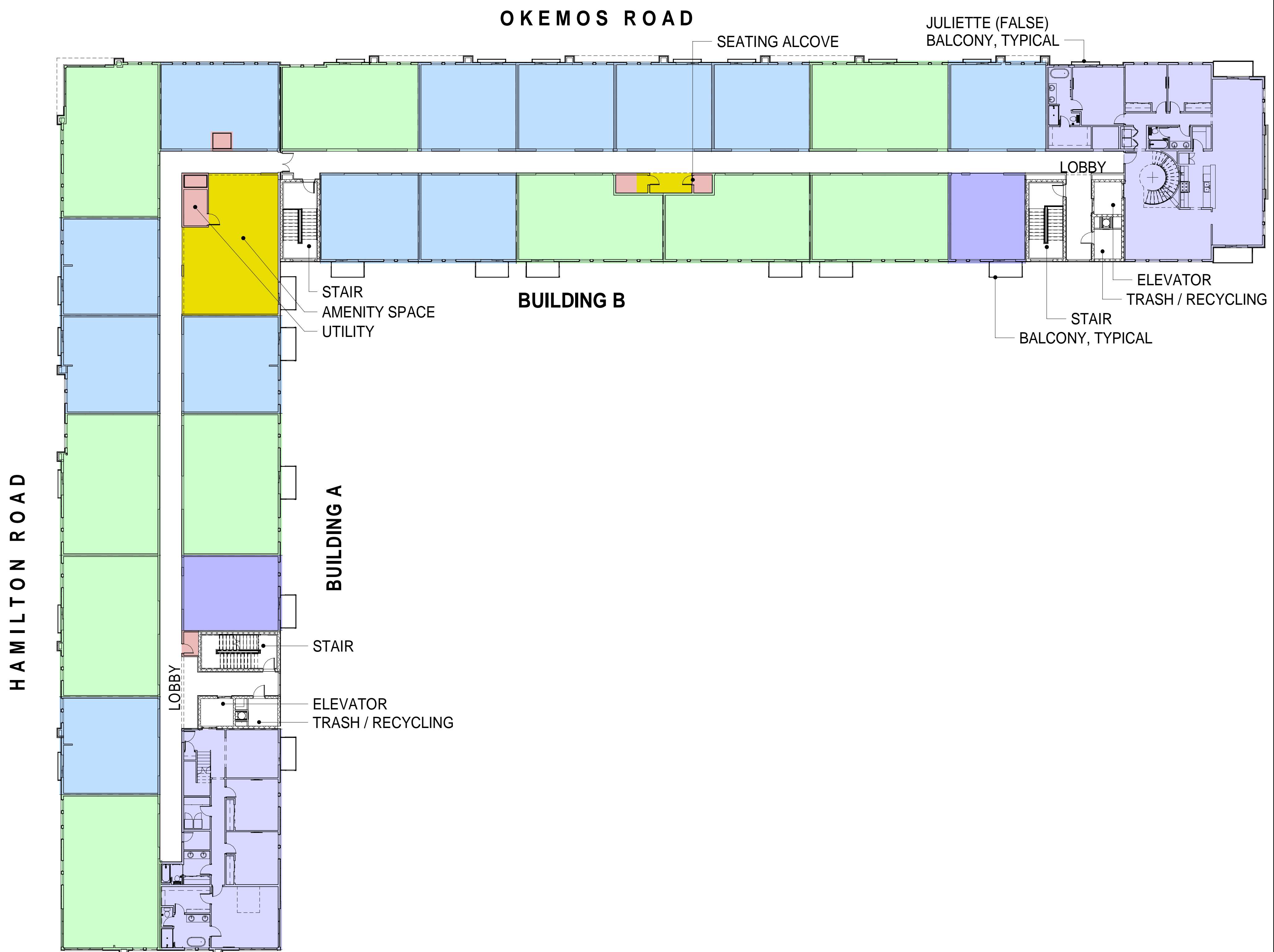
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BUILDING A-B, BLOCK 2

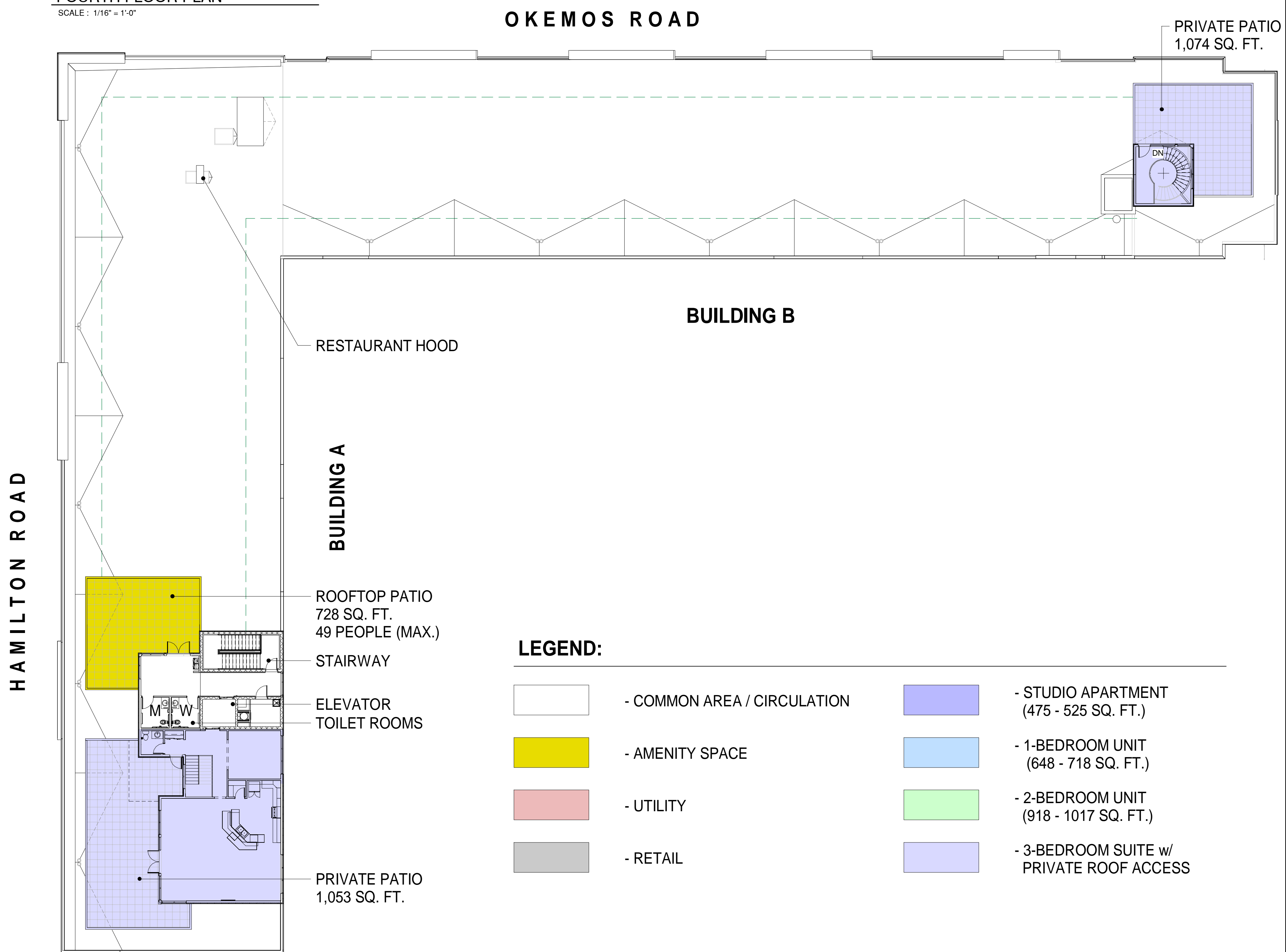
Project Number: 15548.00
Date Issued: 6/01/2022
Drawing Number:

A-101



FOURTH FLOOR PLAN




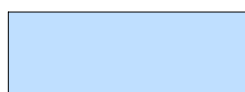

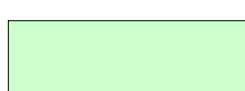


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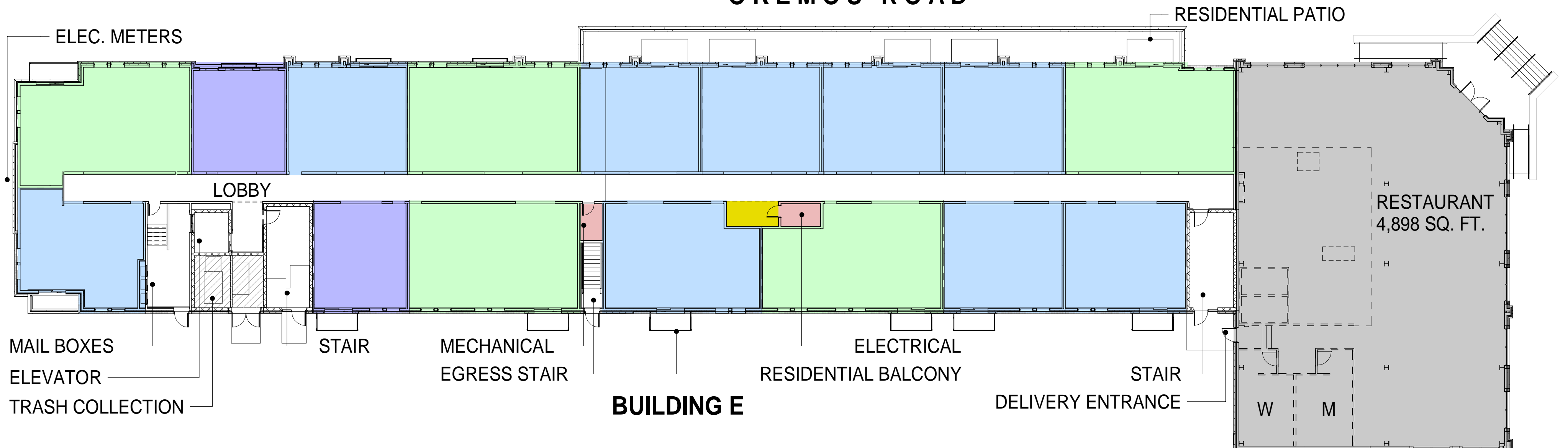
FIFTH FLOOR / ROOF PLAN

SCALE : 1/16" = 1'-0"

LEGEND:

- | | | | |
|--|-----------------------------|---|--|
|  | - COMMON AREA / CIRCULATION |  | - STUDIO APARTMENT (475 - 525 SQ. FT.) |
|  | - AMENITY SPACE |  | - 1-BEDROOM UNIT (648 - 718 SQ. FT.) |
|  | - UTILITY |  | - 2-BEDROOM UNIT (918 - 1017 SQ. FT.) |
|  | - RETAIL |  | - 3-BEDROOM SUITE w/ PRIVATE ROOF ACCESS |

OKEMOS ROAD



AREA SUMMARY - BUILDING D-E, BLOCK 1

FLOOR LEVEL	NET AREA		GROSS AREA
	RESIDENTIAL	COMMERCIAL	
BASEMENT	--	3,909	6,951
1st FLOOR	13,008	9,908	27,316
2nd FLOOR	22,281	--	28,367
3rd FLOOR	22,595	--	28,367
4th FLOOR	22,736	--	28,081
5th FLOOR	1,753	--	2,643
TOTALS:	82,373	13,817	121,725

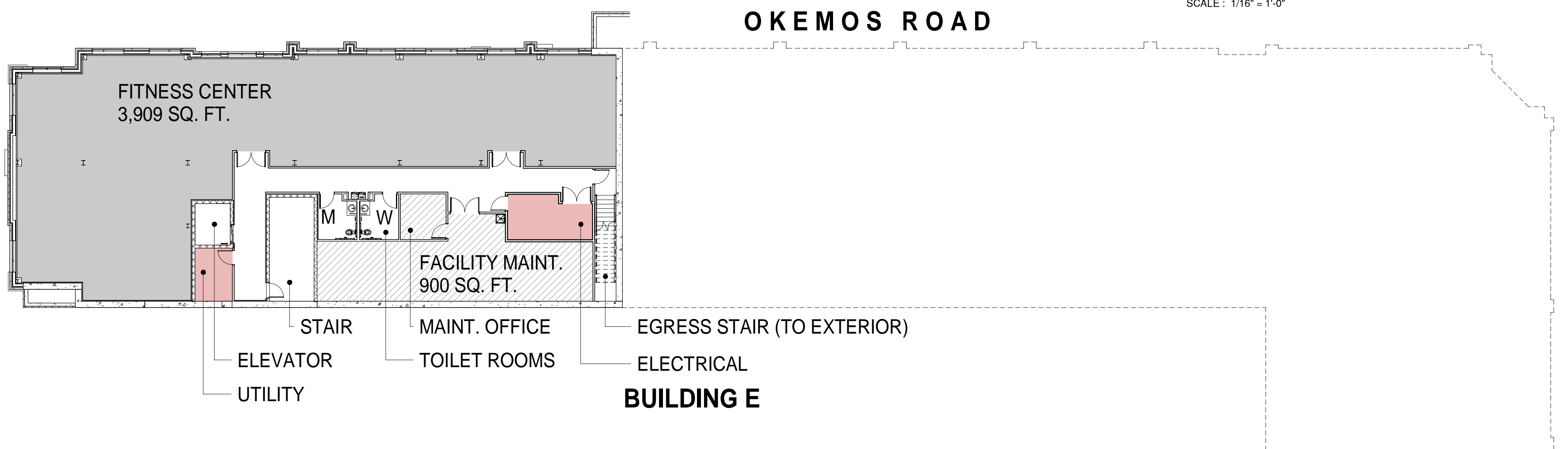
UNIT COUNT - BUILDING D-E, BLOCK 1

FLOOR LEVEL	STUDIO	1-BR	2-BR	3-BR	TOTAL
1st FLOOR	3	11	5	0	19
2nd FLOOR	4	13	12	0	29
3rd FLOOR	3	13	13	0	29
4th FLOOR	2	12	10	2	26
TOTAL BUILDING:	12	49	40	2	103

PROPOSED FIRST FLOOR LAYOUT

SCALE : 1/16" = 1'-0"

OKEMOS ROAD



BUILDING D

HAMILTON ROAD

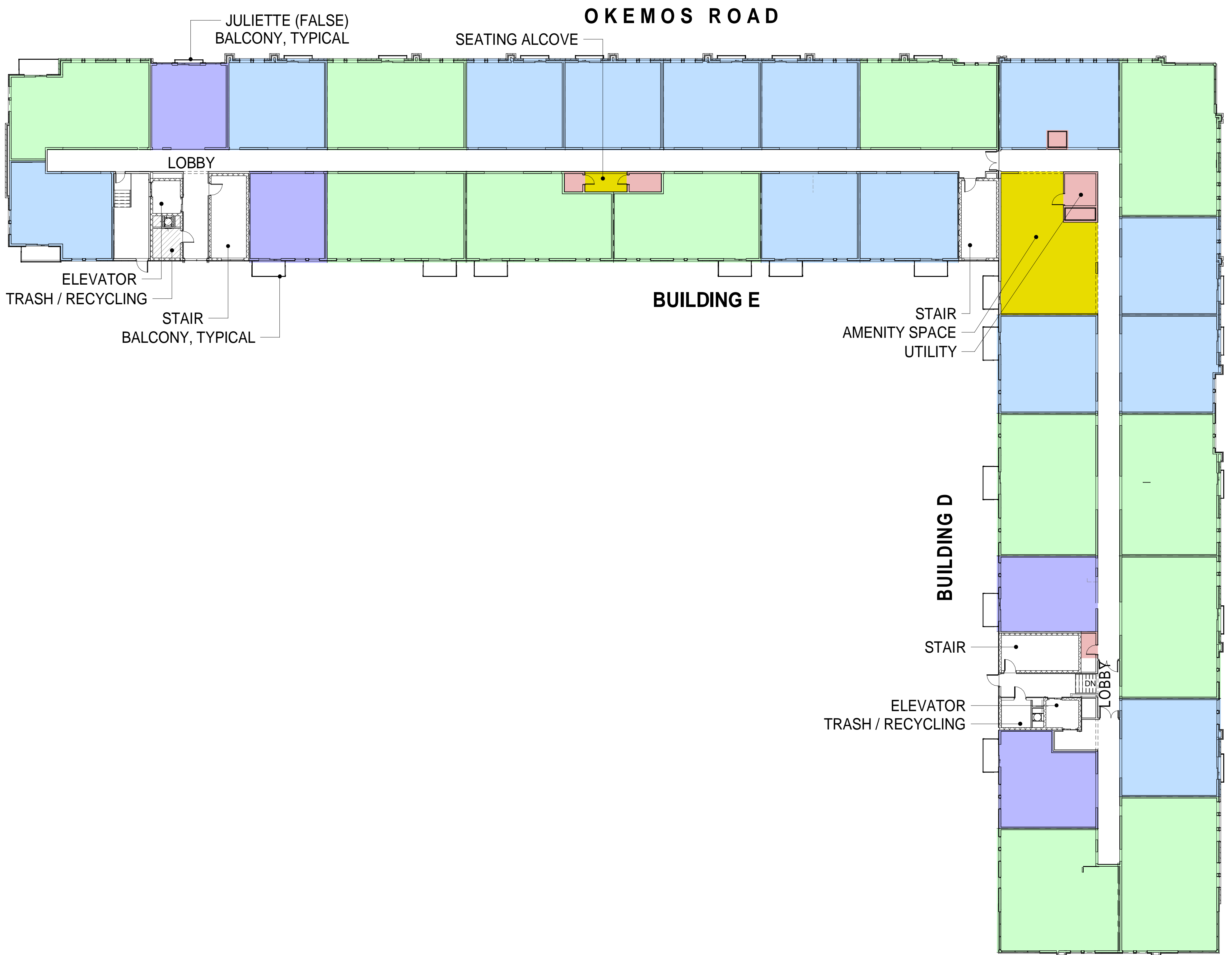
LEGEND:

- COMMON AREA / CIRCULATION
- STUDIO APARTMENT (475 - 525 SQ. FT.)
- AMENITY SPACE
- 1-BEDROOM UNIT (648 - 718 SQ. FT.)
- UTILITY
- 2-BEDROOM UNIT (918 - 1017 SQ. FT.)
- RETAIL
- 3-BEDROOM SUITE w/ PRIVATE ROOF ACCESS

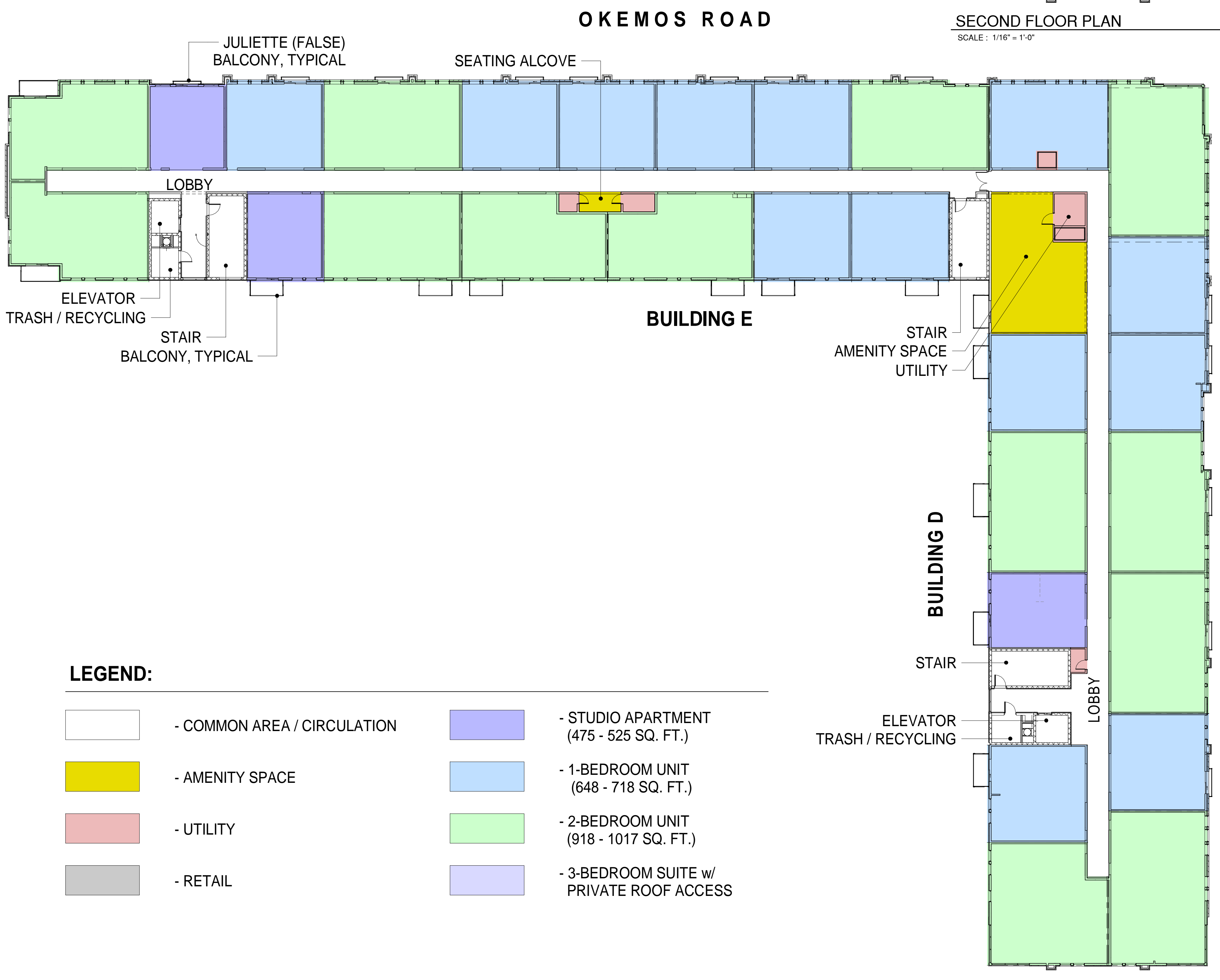
PROPOSED BASEMENT LAYOUT

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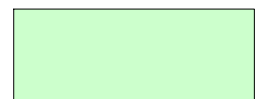




SECOND FLOOR PLAN
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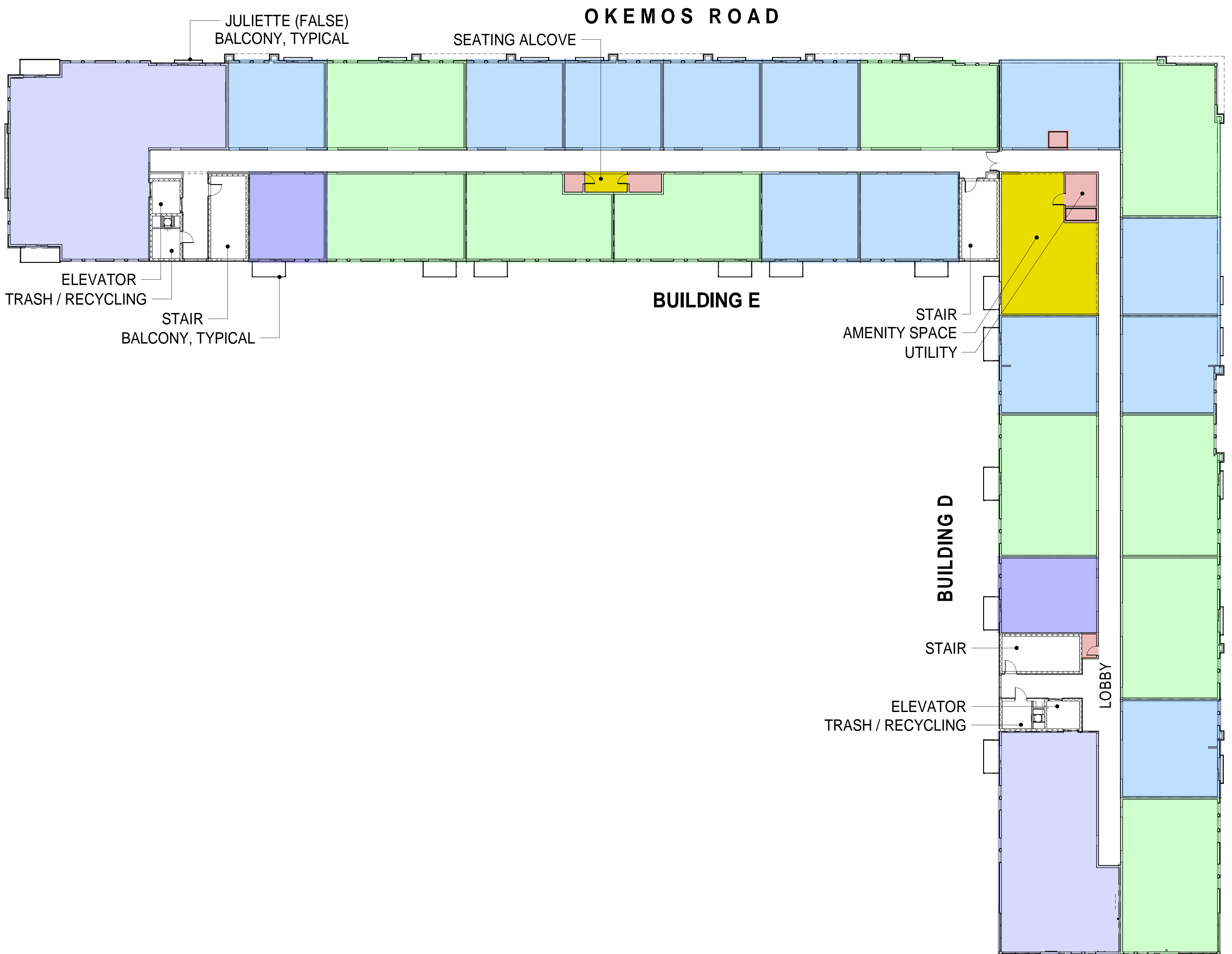


THIRD FLOOR PLAN
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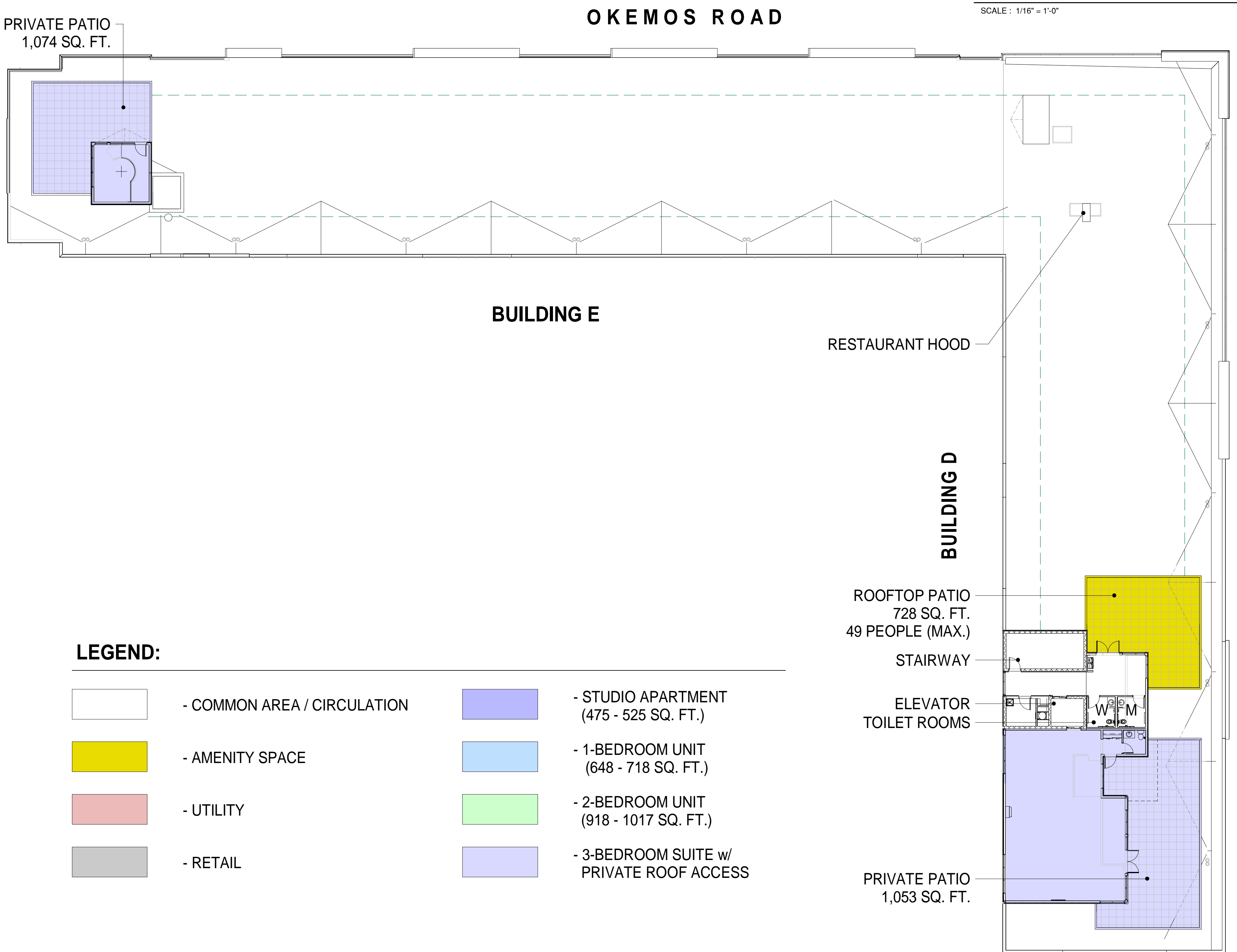
LEGEND:

- | | | | |
|---|-----------------------------|---|---|
|  | - COMMON AREA / CIRCULATION |  | - STUDIO APARTMENT
(475 - 525 SQ. FT.) |
|  | - AMENITY SPACE |  | - 1-BEDROOM UNIT
(648 - 718 SQ. FT.) |
|  | - UTILITY |  | - 2-BEDROOM UNIT
(918 - 1017 SQ. FT.) |
|  | - RETAIL |  | - 3-BEDROOM SUITE w/
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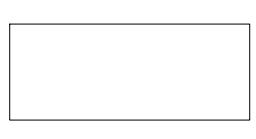




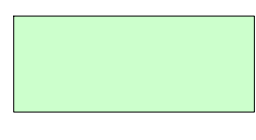

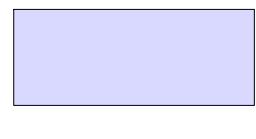


FOURTH FLOOR PLAN
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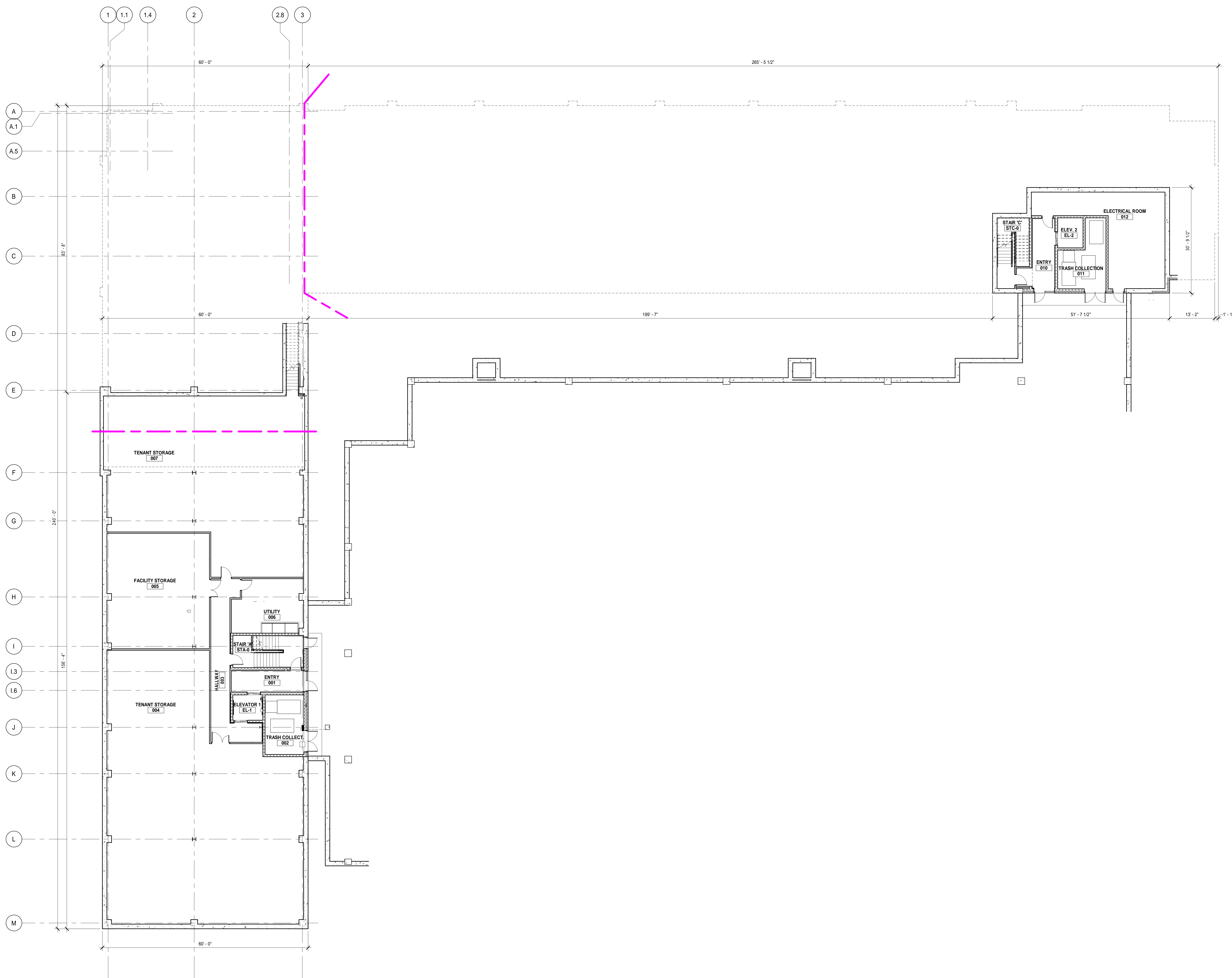


FIFTH FLOOR / ROOF PLAN
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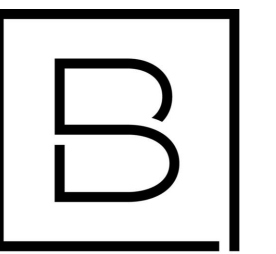
LEGEND:

- | | | | |
|---|-----------------------------|---|--|
|  | - COMMON AREA / CIRCULATION |  | - STUDIO APARTMENT (475 - 525 SQ. FT.) |
|  | - AMENITY SPACE |  | - 1-BEDROOM UNIT (648 - 718 SQ. FT.) |
|  | - UTILITY |  | - 2-BEDROOM UNIT (918 - 1017 SQ. FT.) |
|  | - RETAIL |  | - 3-BEDROOM SUITE w/ PRIVATE ROOF ACCESS |

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COMPOSITE BASEMENT FLOOR PLAN
 SCALE: 3/32" = 1'-0"



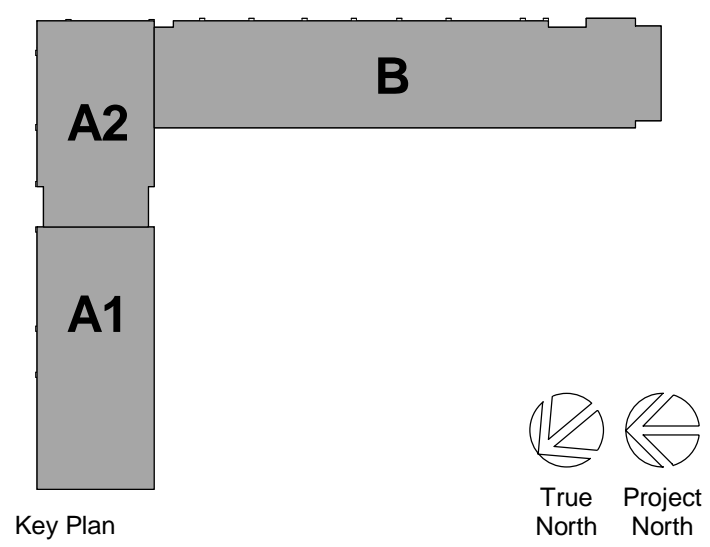
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 HAMILTON & OKEMOS ROADS
 OKEMOS, MI 48864

Date Revised	Description
1/31/2022	SITE PLAN APPROVAL
4/1/2022	BIDS & PERMITS
8/25/2022	MUPUD Submittal



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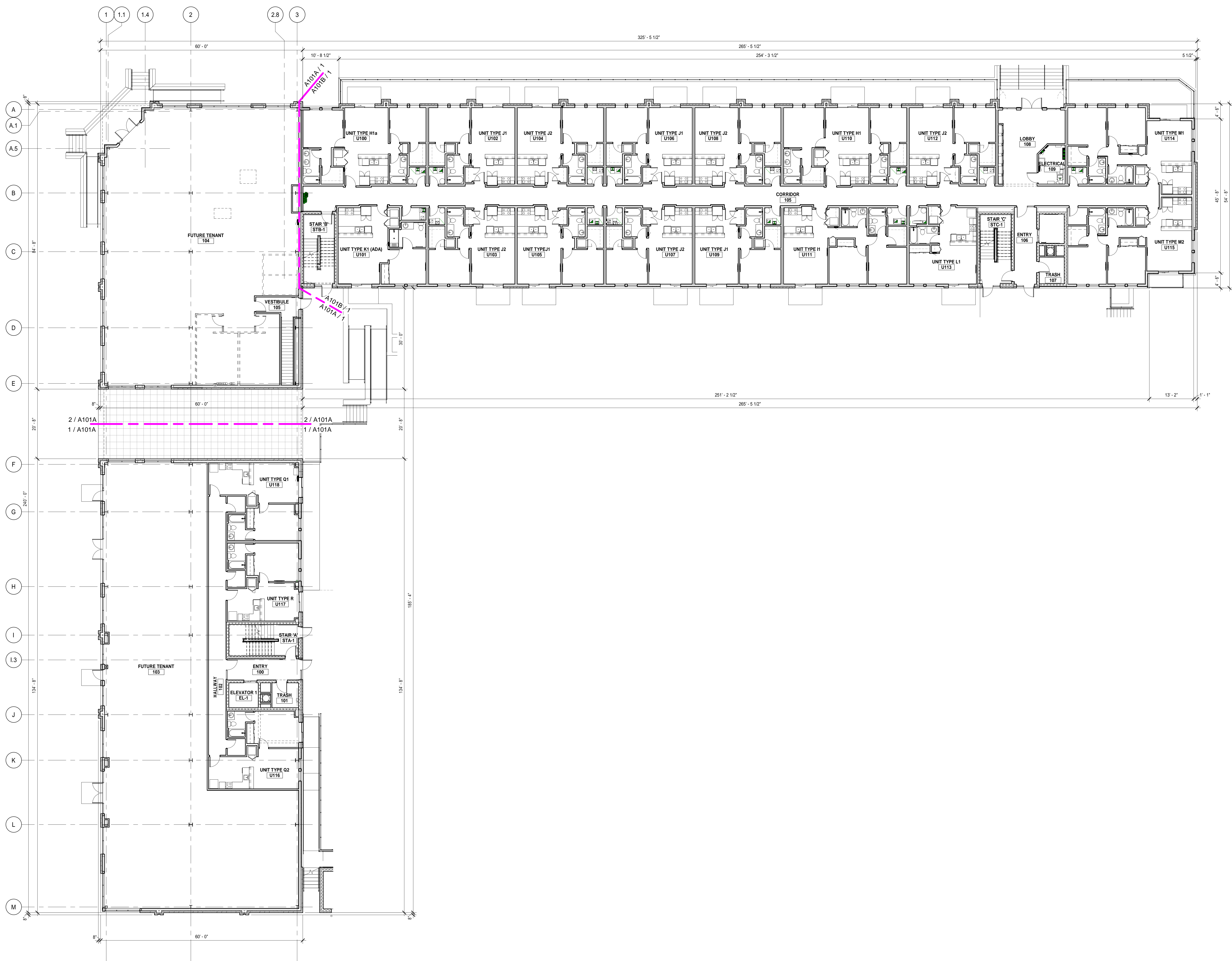
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Designer R. KEUNEKE	Reviewer R. KEUNEKE
Date Issued 8/25/2022	Project Number 15548.00

Sheet Name

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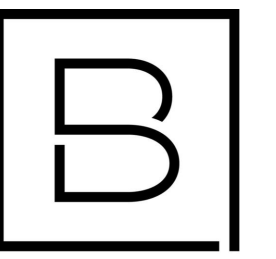
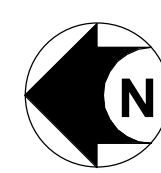
Sheet Number **BUILDINGS A & B**

A010



COMPOSITE FIRST FLOOR PLAN

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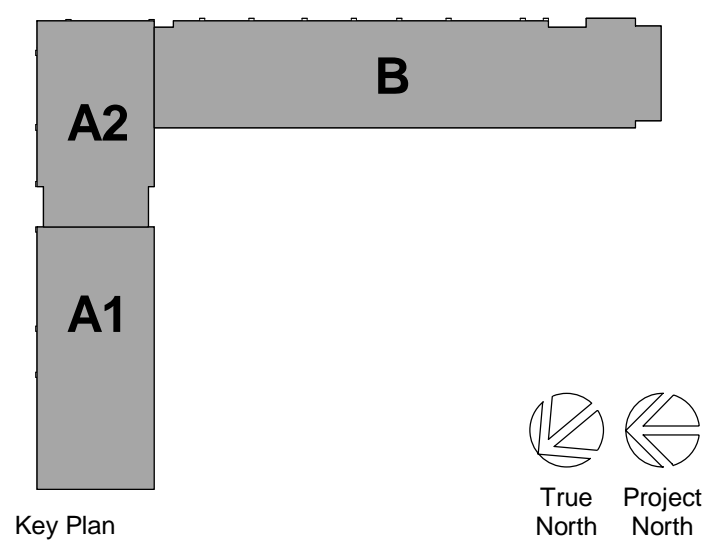
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Project Manager T. REDER	Discipline Lead T. REDER
Designer R. KEUNEKE	Reviewer R. KEUNEKE
Date Issued 8/25/2022	Project Number 15548.00

Sheet Name

COMPOSITE FIRST FLOOR PLAN

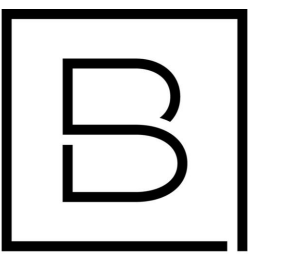
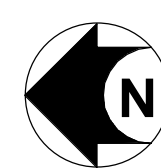
Sheet Number BUILDINGS A & B

A011



COMPOSITE SECOND FLOOR PLAN

SCALE : 3/32" = 1'-0"



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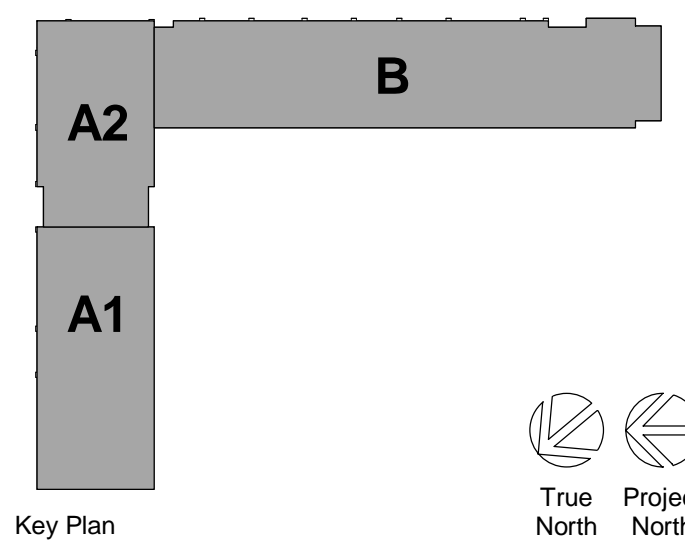
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Designer R. KEUNEKE	Reviewer R. KEUNEKE
Date Issued 8/25/2022	Project Number 15548.00

Sheet Name

COMPOSITE SECOND FLOOR PLAN

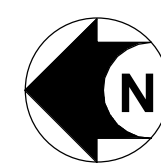
Sheet Number BUILDINGS A & B

A012



COMPOSITE THIRD FLOOR PLAN

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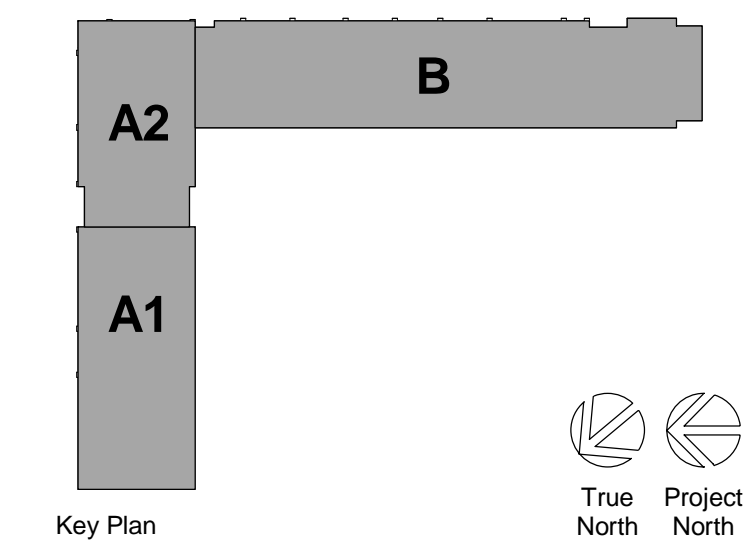


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Project Manager	Discipline Lead
T. REDER	T. REDER
Designer	Reviewer
R. KEUNEKE	R. KEUNEKE
Date Issued	Project Number
8/25/2022	15548.00

Sheet Name

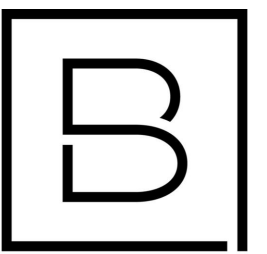
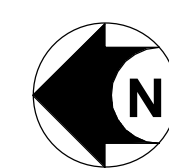
COMPOSITE THIRD FLOOR PLAN

Sheet Number BUILDINGS A & B

A013



COMPOSITE FOURTH FLOOR PLAN
 SCALE : 3/32" = 1'-0"



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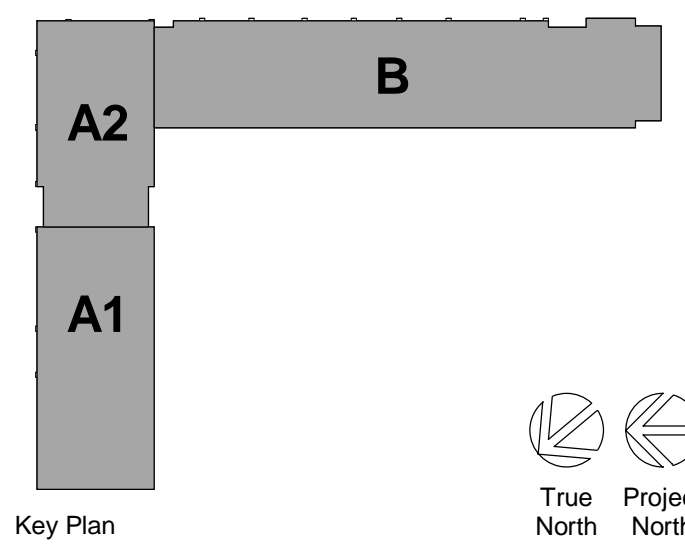
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Key Plan

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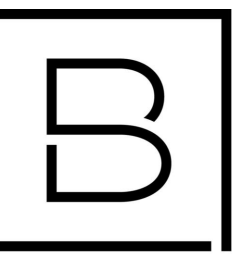
Project Manager	Discipline Lead
T. REDER	T. REDER
Designer	Reviewer
R. KEUNEKE	R. KEUNEKE
Date Issued	Project Number
8/25/2022	15548.00

Sheet Name

COMPOSITE FOURTH FLOOR PLAN

Sheet Number BUILDINGS A & B

A014



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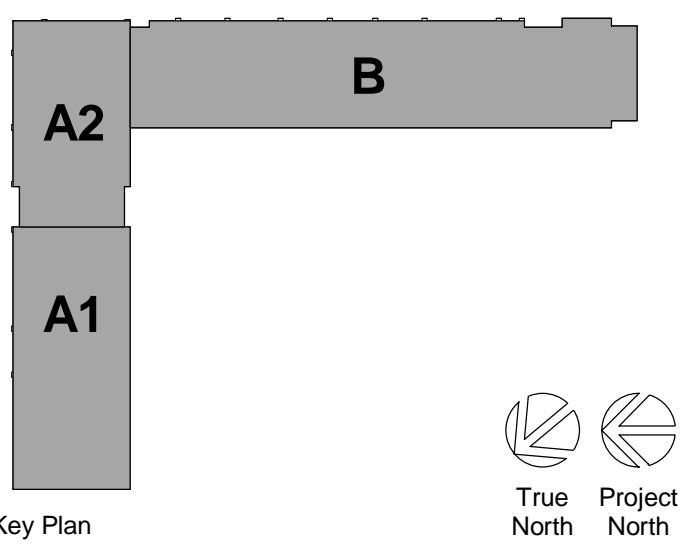
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Date Revised	Description
1/31/2022	SITE PLAN APPROVAL
4/1/2022	BIDS & PERMITS
8/25/2022	MUPUD Submittal



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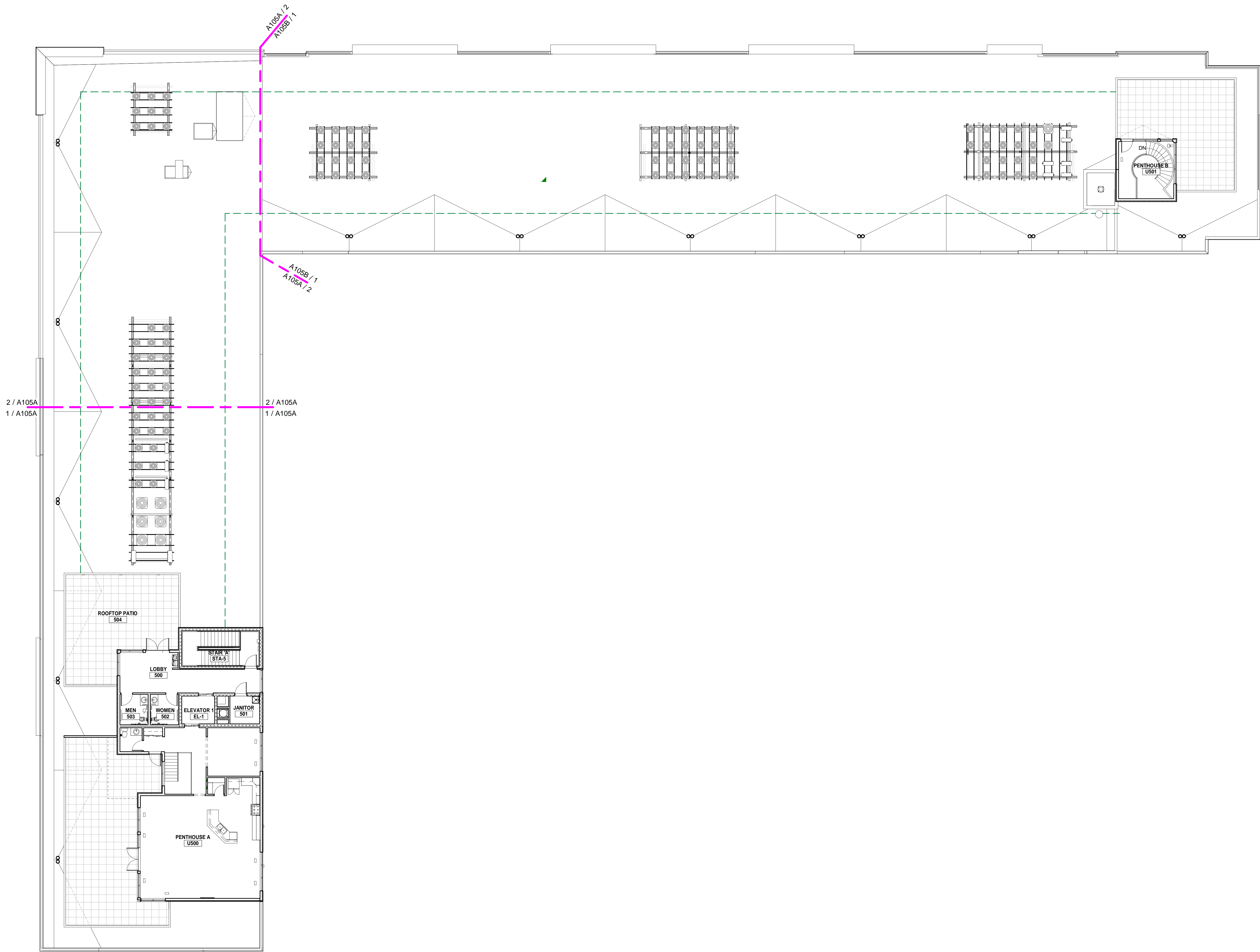
Project Manager	Discipline Lead
T. REDER	T. REDER
Designer	Reviewer
R. KEUNEKE	R. KEUNEKE
Date Issued	Project Number
8/25/2022	15548.00

Sheet Name

COMPOSITE FIFTH FLOOR & ROOF PLAN

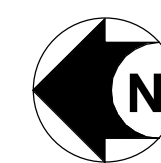
Sheet Number **BUILDINGS A & B**

A015



COMPOSITE FIFTH FLOOR & ROOF PLAN

SCALE: 3/32" = 1'-0"



GENERAL NOTES

- A. SEE DRAWING SHEETS A201 & A204 FOR EXTERIOR ELEVATION KEYNOTE LIST.
- B. REFER TO A600 SERIES DRAWINGS FOR DOOR & WINDOW SCHEDULES & STOREFRONT TYPES.
- C. REFER TO MECHANICAL DRAWINGS FOR LOUVERS & THROUGH-WALL VENTS. INSTALL IN A SYMMETRICAL MANNER.

KEYNOTES

1.1 BRICK TYPE 'A', RUNNING BOND	8.1 FIBER CEMENT PANEL (WOOD LOOK)	22.1 PRE-FABRICATED BOLT-ON JULIETTE STYLE BALCONY
1.2 BRICK TYPE 'A', ROW LOCK COURSE	8.2 FIBER CEMENT PANEL	22.2 PRE-FABRICATED BOLT-ON FULL-DEPTH BALCONY
1.3 BRICK TYPE 'A', SOLDIER COURSE	8.3 FIBER CEMENT LAP SIDING (8" LAP)	23 ROOF PLAZA PAVERS ON ADJUSTABLE PEDESTALS.
2.1 BRICK TYPE 'B', RUNNING BOND	9.1 EXTERIOR INSULATION FINISH SYSTEM (E.F.I.S.) w/ REVEALS	24 ROOFTOP PIPE ACCENT RAIL, PAINTED
2.2 BRICK TYPE 'B', ROW LOCK COURSE	9.2 EXTERIOR INSULATION FINISH SYSTEM (E.F.I.S.) w/ WALL CAP. SEE SECTIONS FOR PROFILE	25 HOLLOW METAL DOOR & FRAME, PAINTED PER DOOR SCHEDULE
2.3 BRICK TYPE 'B', SOLDIER COURSE	10 FLUSH METAL PANEL SYSTEM	26 CONTINUOUS FIBER CEMENT TRIM, 6" WIDE.
2.4 THIN BRICK, MATCH PLAIN, COLOR & COURSING OF BRICK TYPE 'B'	11 COMPOSITE METAL PANEL SYSTEM	28 MEMBRANE FLASHING
3.1 BRICK TYPE 'C', RUNNING BOND	12.1 VINYL SIDING TYPE 'A' w/ 6" LAP	29 THROUGH WALL SCUPPER & DOWNSPOUT w/ SPLASH BLOCK ON ROOF.
3.2 BRICK TYPE 'C', ROW LOCK COURSE	12.2 VINYL SIDING TYPE 'B' w/ 6" LAP	30 PRE-FABRICATED METAL CANOPY
3.3 BRICK TYPE 'C', SOLDIER COURSE	13.1 METAL COPING	
4 BRICK TYPE 'D', RUNNING BOND	13.2 METAL GRAVEL STOP FASCIA	
5 LIMESTONE WALL CAP.	14.1 ALUMINUM STOREFRONT SYSTEM w/ INSULATED GLASS	
6.1 CAST STONE (DARK) PIER, STACKED BOND	14.2 ALUMINUM STOREFRONT ENTRANCE SYSTEM PER SCHEDULE	
6.2 LIMESTONE BASE, COLOR & TEXTURE TO MATCH DARK CAST STONE.	14.3 BREAK METAL CLADDING TO MATCH STOREFRONT FINISH.	
6.3 CAST STONE (DARK) WITH REVEALS AT EACH MASONRY JOINT	15 CAST-IN-PLACE CONCRETE STEPS	
6.4 CONTINUOUS CAST STONE (DARK) ACCENT BAND	16 STAINLESS STEEL HANDRAIL	
7.1 CAST STONE (LIGHT) PIER, STACKED BOND	17 FABRIC AWNING SYSTEM.	
7.2 LIMESTONE BASE, COLOR & TEXTURE TO MATCH DARK CAST STONE.	18 ORNAMENTAL METAL FENCE SYSTEM	
7.3 CAST STONE (LIGHT) WITH REVEALS AT EACH MASONRY JOINT	19 SLIDING FIBERGLASS PATIO DOOR PER SCHEDULE	
7.4 CONTINUOUS CAST STONE (LIGHT) ACCENT BAND	20 FIBERGLASS WINDOW w/ INSULATED GLASS PER SCHEDULE	
	21 LIGHT FIXTURE PER ELECTRICAL, TYPICAL	



1 EAST (OKEMOS ROAD) ELEVATION - BUILDING 'A'
SCALE: 1/8" = 1'-0"



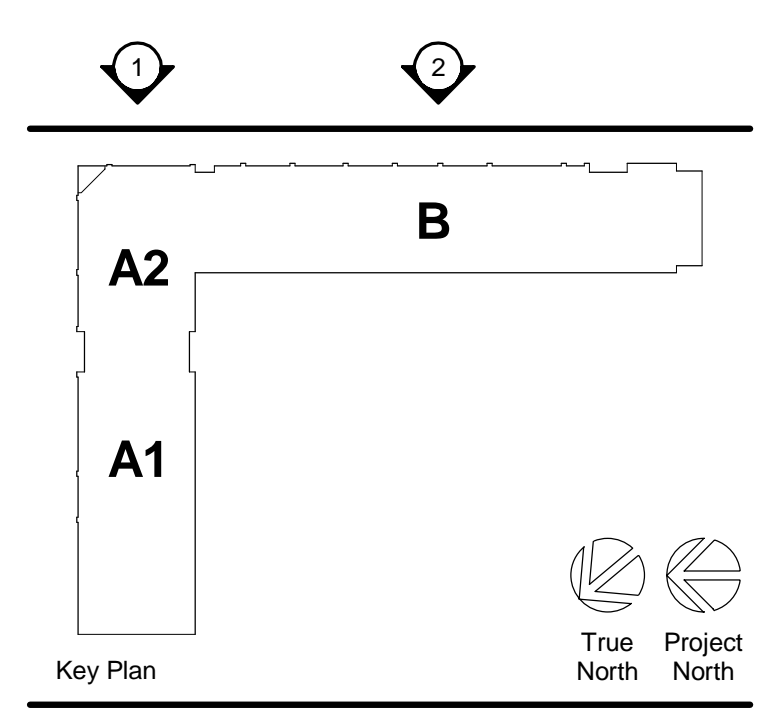
2 EAST (OKEMOS ROAD) ELEVATION - BUILDING 'B'
SCALE: 1/8" = 1'-0"

VILLAGE OF OKEMOS, LLC

THE VILLAGE OF OKEMOS

HAMILTON & OKEMOS ROADS
OKEMOS, MI 48864

Date Revised	Description
1/31/2022	SITE PLAN APPROVAL
4/1/2022	BIDS & PERMITS



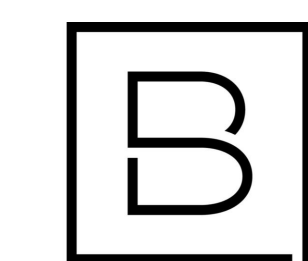
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Project Manager T. REDER	Discipline Lead T. REDER
Designer R. KEUNEKE	Reviewer R. KEUNEKE
Date Issued 8/25/2022	Project Number 15548.00

EXTERIOR ELEVATIONS

Sheet Number **BUILDINGS A & B**

A201

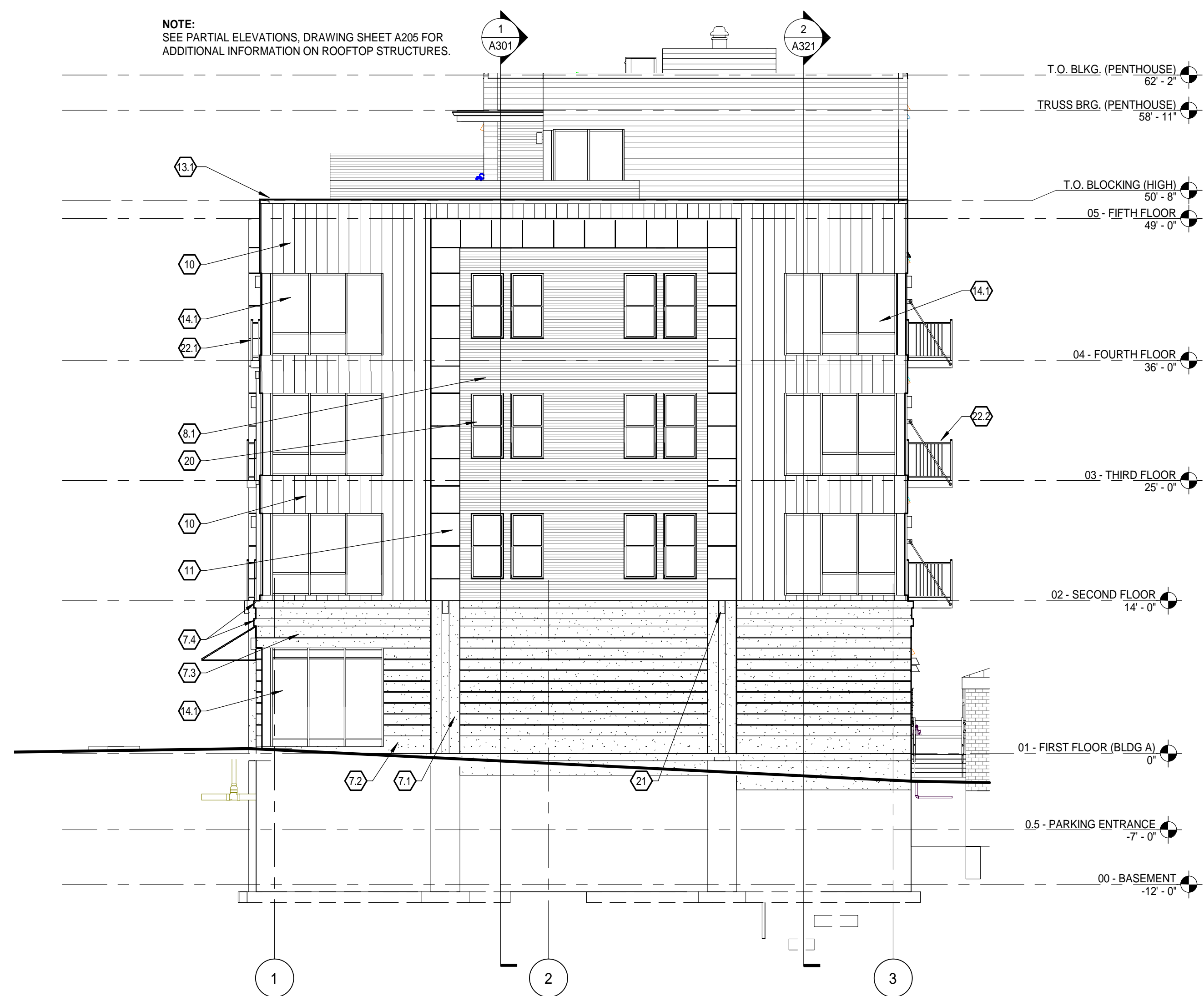


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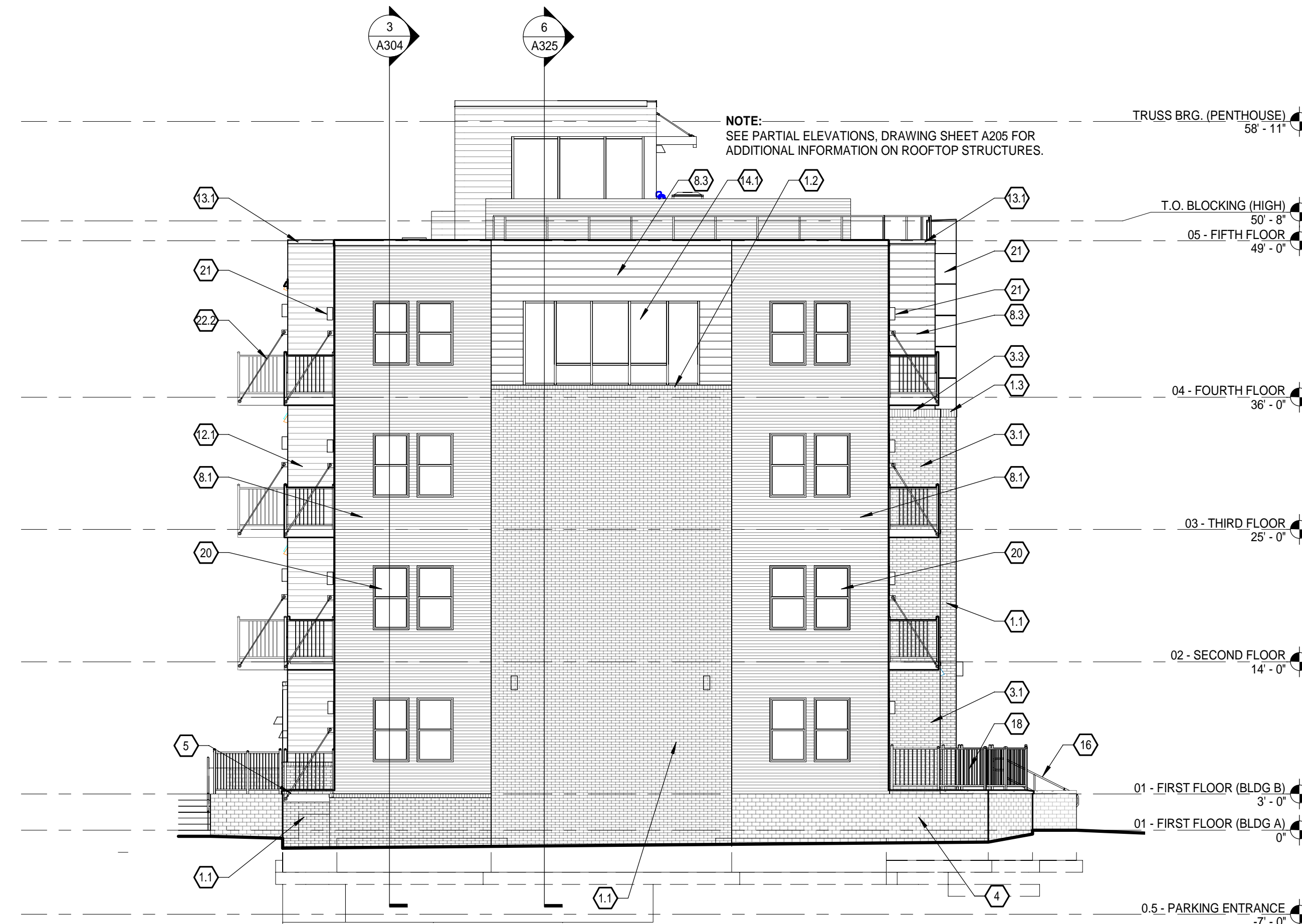
THE VILLAGE OF OKEMOS

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OKEMOS, MI 48864

Date Revised	Description
1/31/2022	SITE PLAN APPROVAL
4/1/2022	BIDS & PERMITS
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1 WEST ELEVATION - BUILDING 'A'
SCALE: 1/8" = 1'-0"



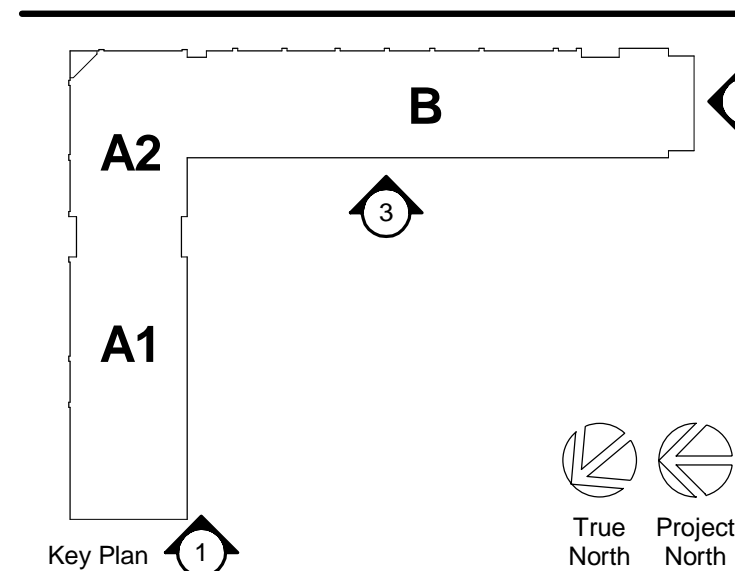
2 SOUTH ELEVATION - BUILDING 'B'
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. SEE DRAWING SHEETS A201 & A204 FOR EXTERIOR ELEVATION KEYNOTE LIST.
- B. REFER TO A200 SERIES DRAWINGS FOR DOOR & WINDOW SCHEDULES & STOREFRONT TYPES.
- C. REFER TO MECHANICAL DRAWINGS FOR LOUVERS & THROUGH-WALL VENTS. INSTALL IN A SYMMETRICAL MANNER.



3 WEST ELEVATION - BUILDING 'B'
SCALE: 1/8" = 1'-0"



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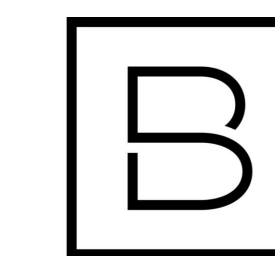
Project Manager	Discipline Lead
T. REDER	T. REDER
Designer	Reviewer
R. KEUNEKE	R. KEUNEKE
Date Issued	Project Number
8/25/2022	15548.00

Sheet Name

EXTERIOR ELEVATIONS

Sheet Number **BUILDINGS A & B**

A202



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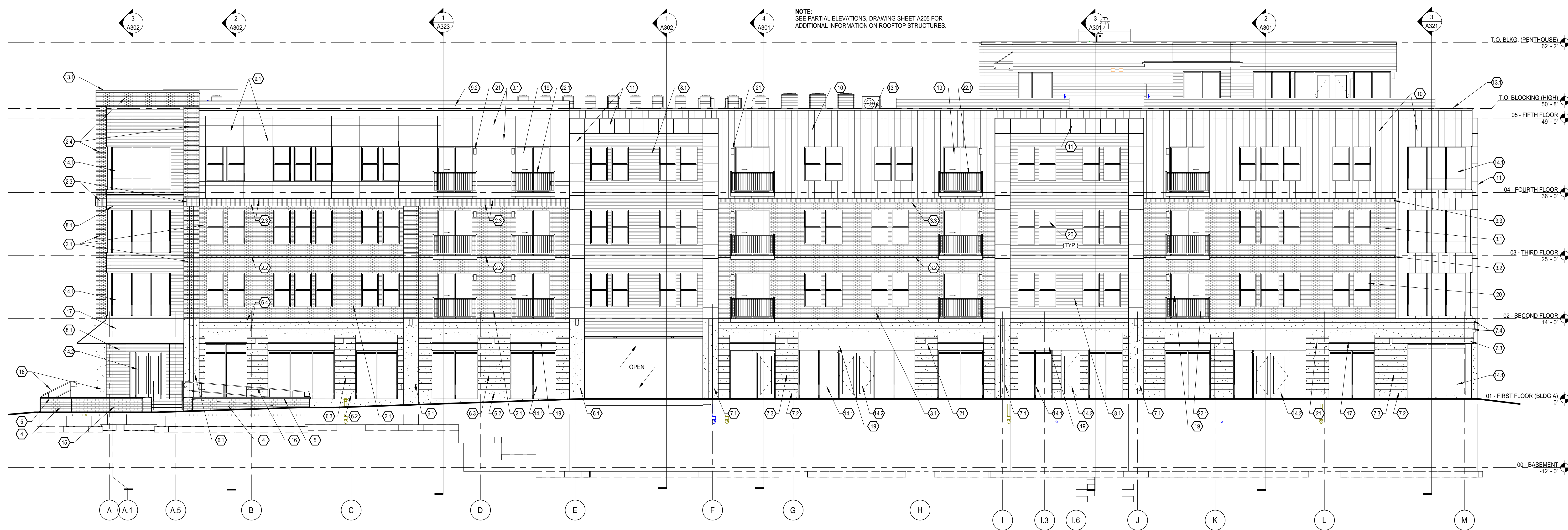
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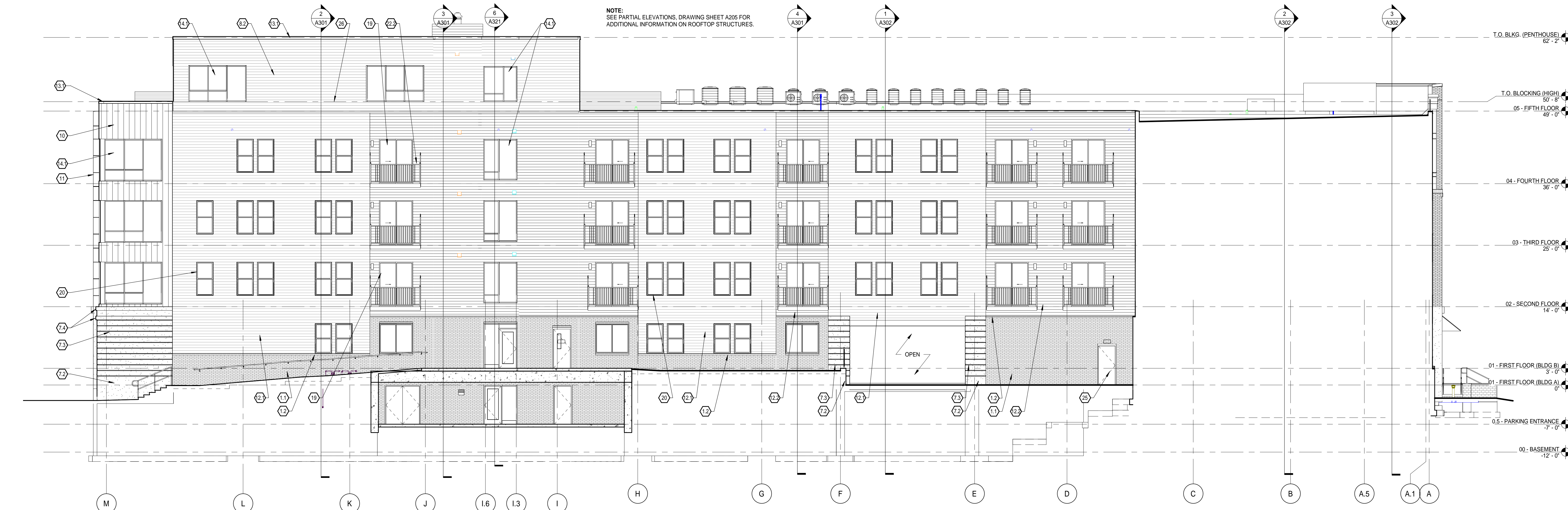
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4/1/2022	BIDS & PERMITS
8/25/2022	MUPUD Submittal



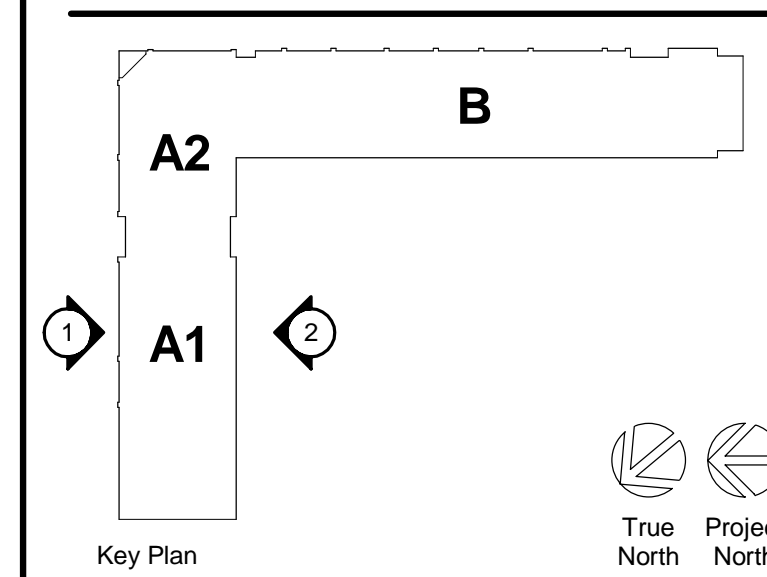
1 NORTH (HAMILTON ROAD) ELEVATION - BUILDING 'A'
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. SEE DRAWING SHEETS A201 & A204 FOR EXTERIOR ELEVATION KEYNOTE LIST.
- B. REFER TO A600 SERIES DRAWINGS FOR DOOR & WINDOW SCHEDULES & STOREFRONT TYPES.
- C. REFER TO MECHANICAL DRAWINGS FOR LOUVERS & THROUGH-WALL VENTS. INSTALL IN A SYMMETRICAL MANNER.



2 SOUTH ELEVATION - BUILDING 'A'
SCALE: 1/8" = 1'-0"



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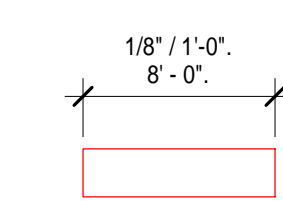
Project Manager T. REDER	Discipline Lead T. REDER
Designer R. KEUNEKE	Reviewer R. KEUNEKE
Date Issued 8/25/2022	Project Number 15548.00

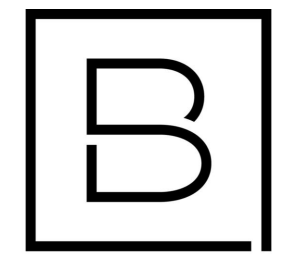
Sheet Name

EXTERIOR ELEVATIONS

Sheet Number **BUILDINGS A & B**

A203





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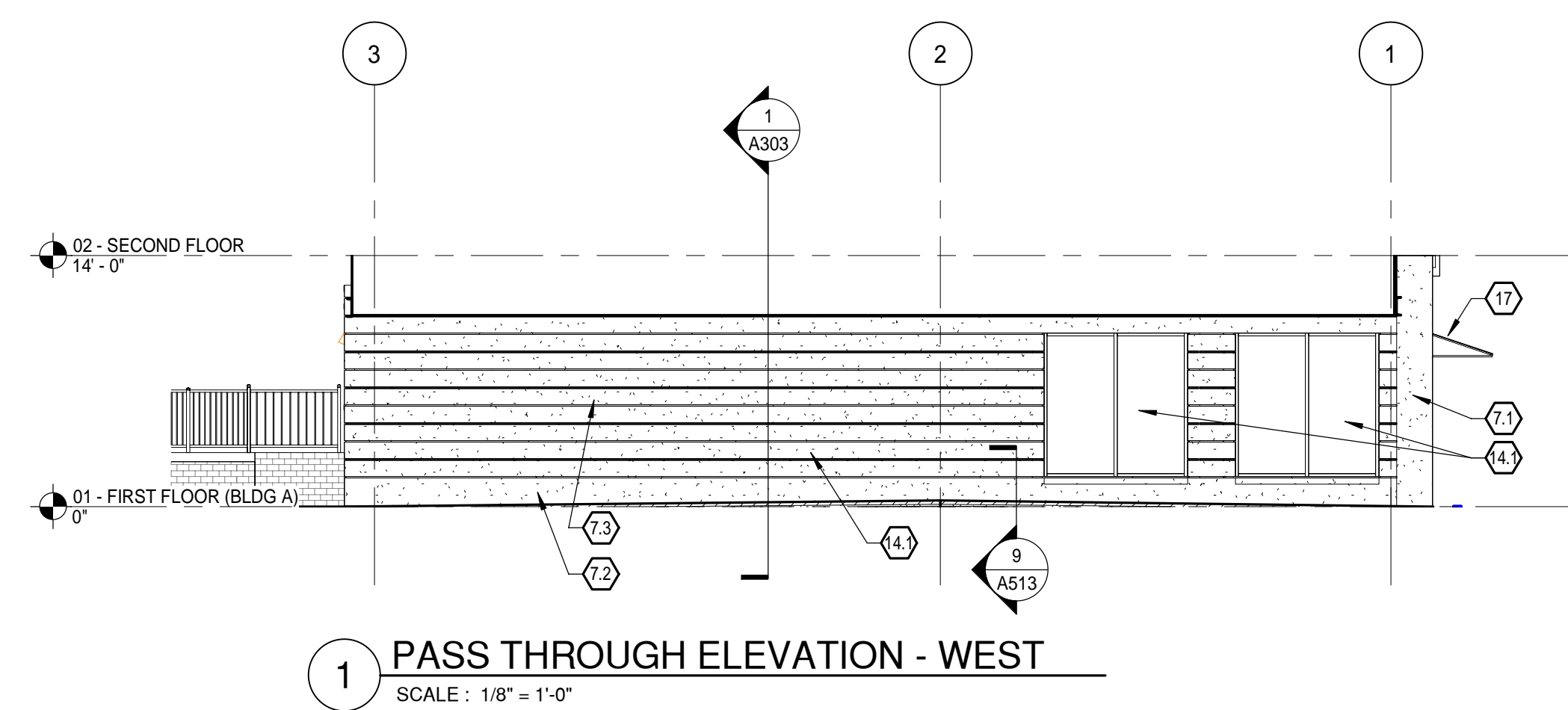
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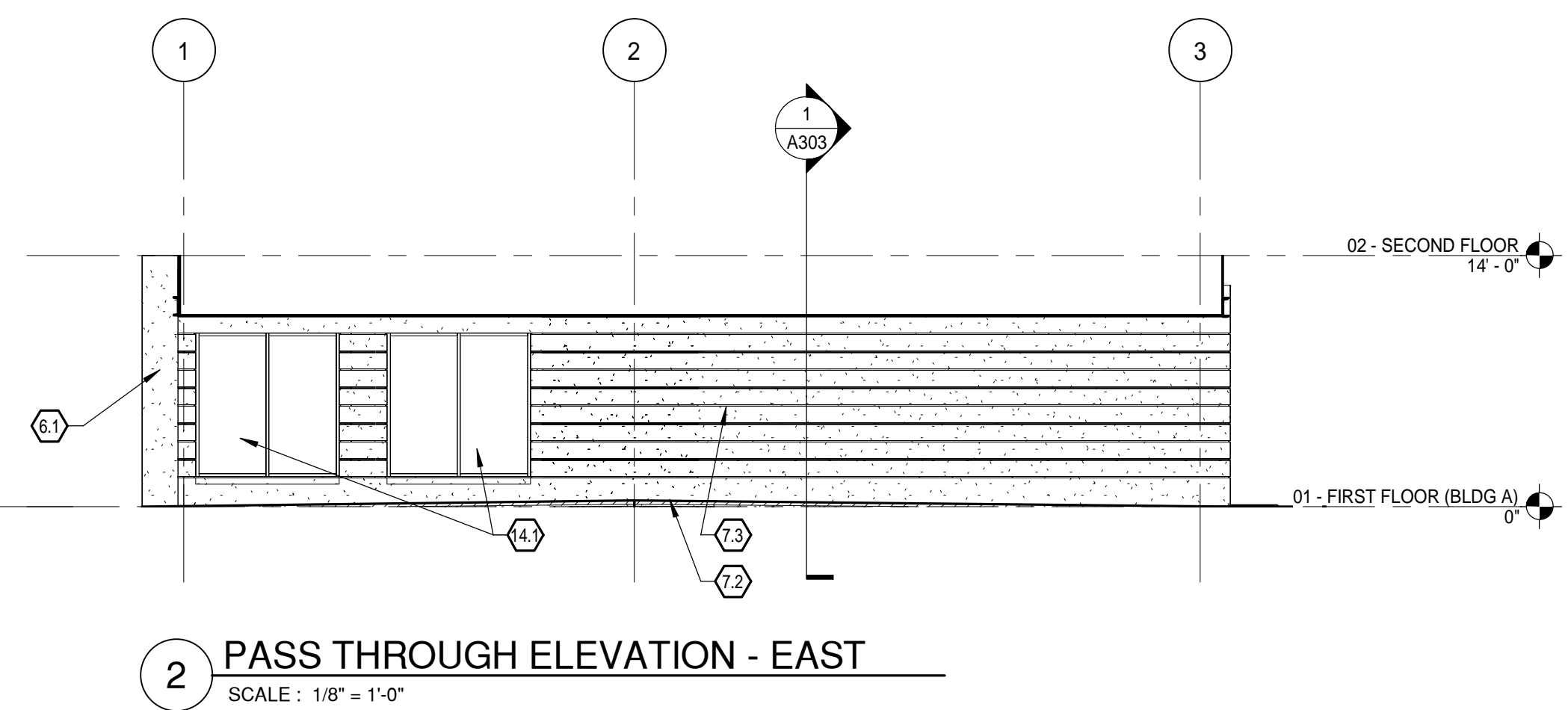
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OKEMOS, MI 48864

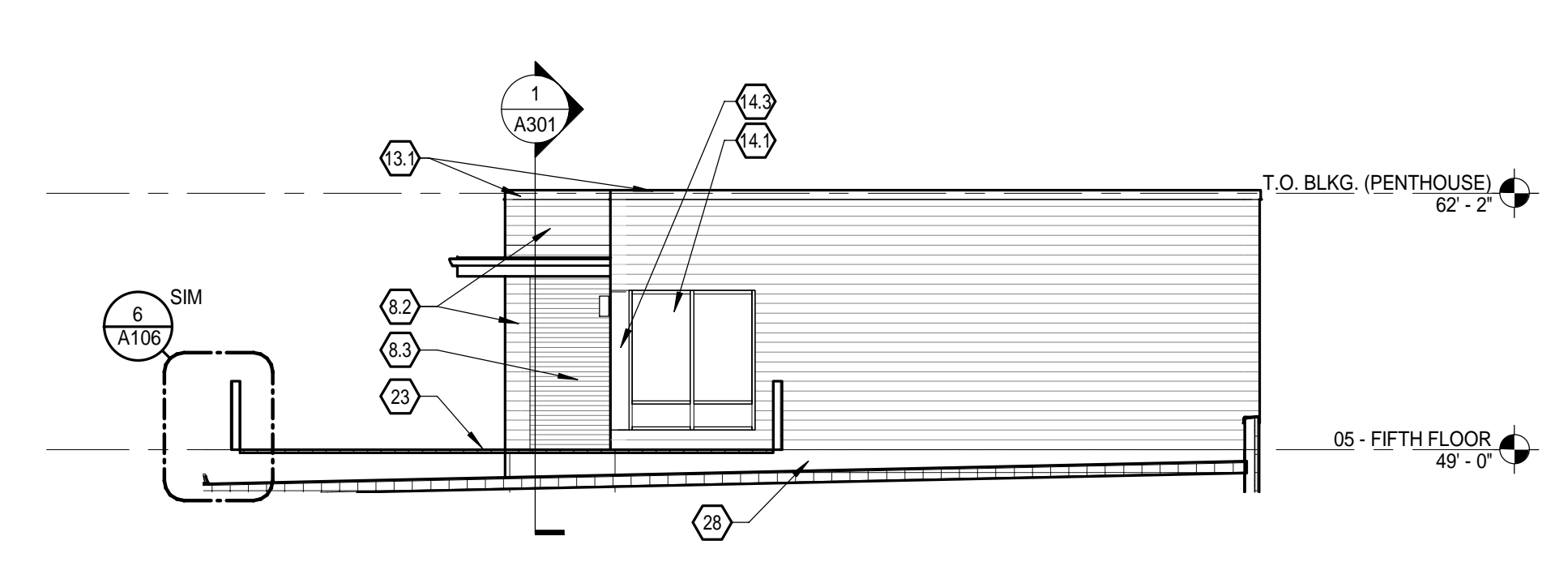
Date Revised	Description
1/31/2022	SITE PLAN APPROVAL
4/1/2022	BIDS & PERMITS
8/25/2022	MUPUD Submittal



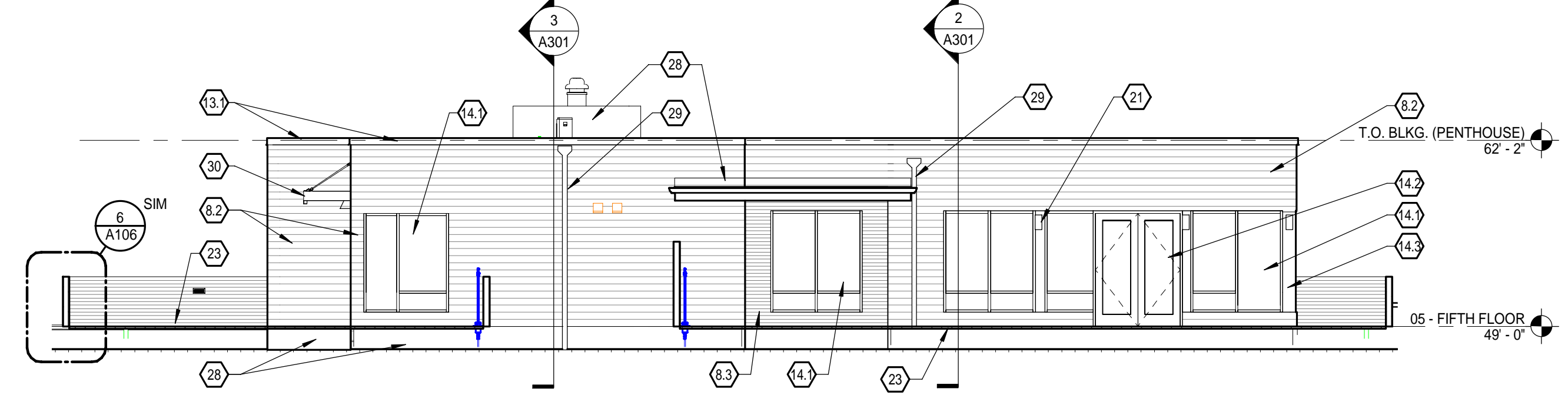
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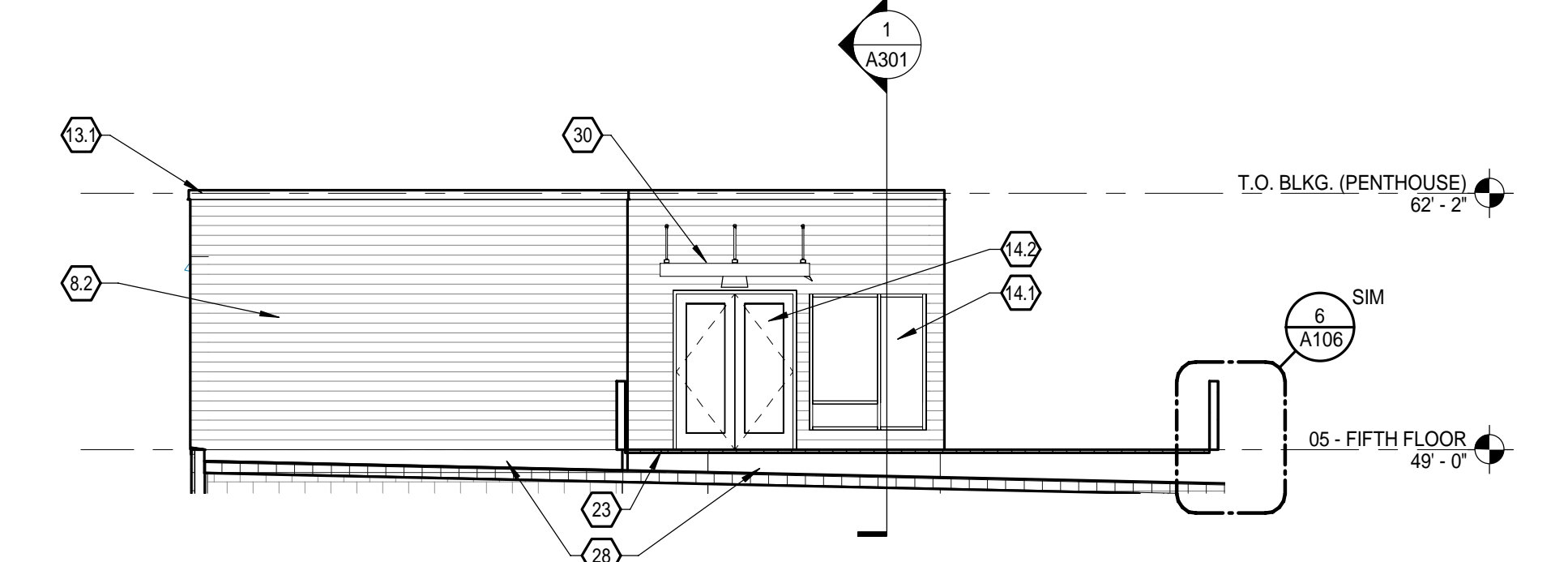
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SCALE : 1/8" = 1'-0"



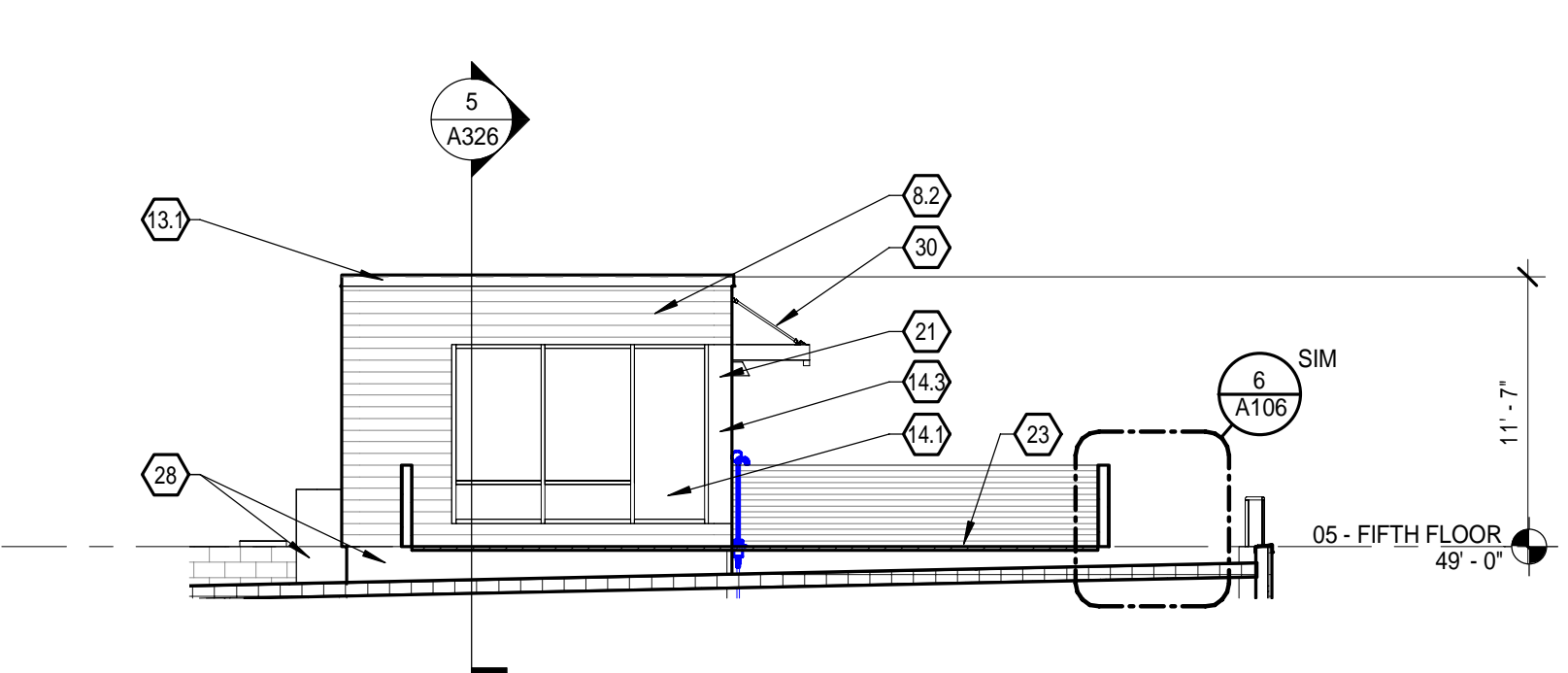
3 PENTHOUSE ELEVATION - WEST
SCALE : 1/8" = 1'-0"



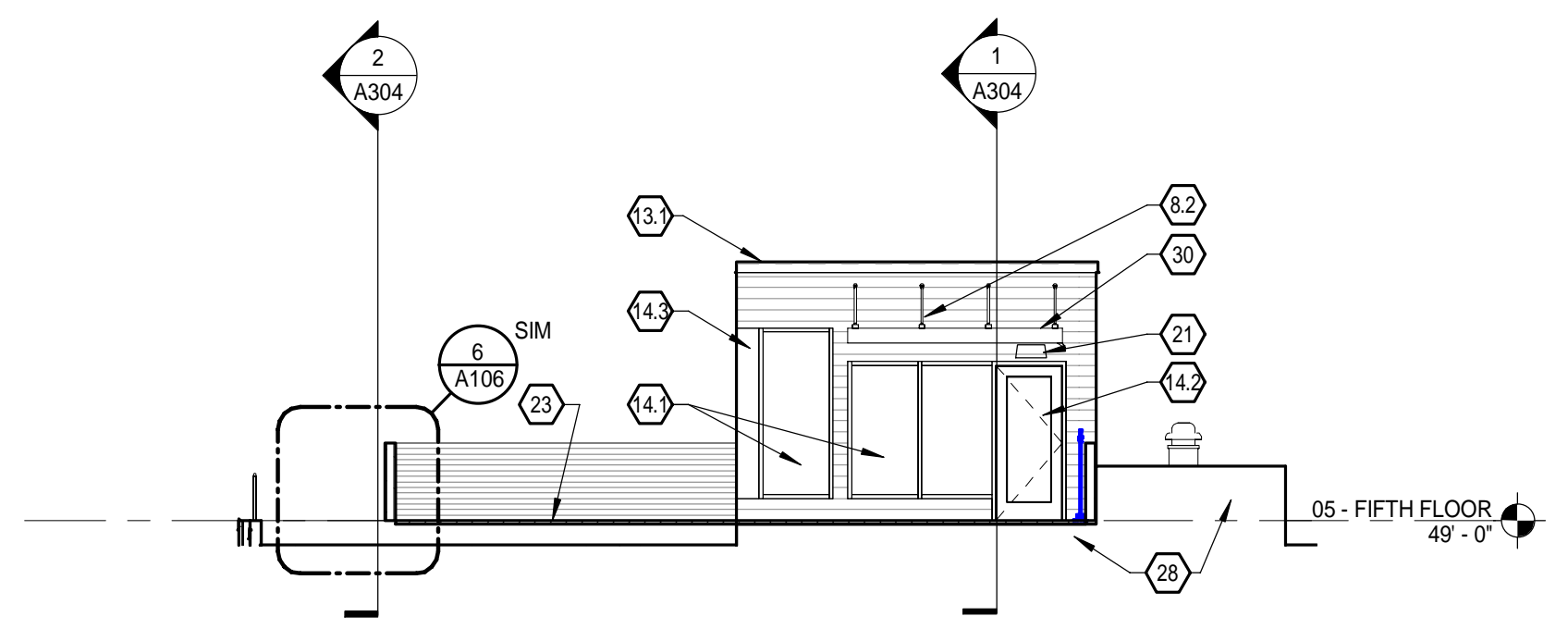
4 PENTHOUSE ELEVATION - NORTH
SCALE : 1/8" = 1'-0"



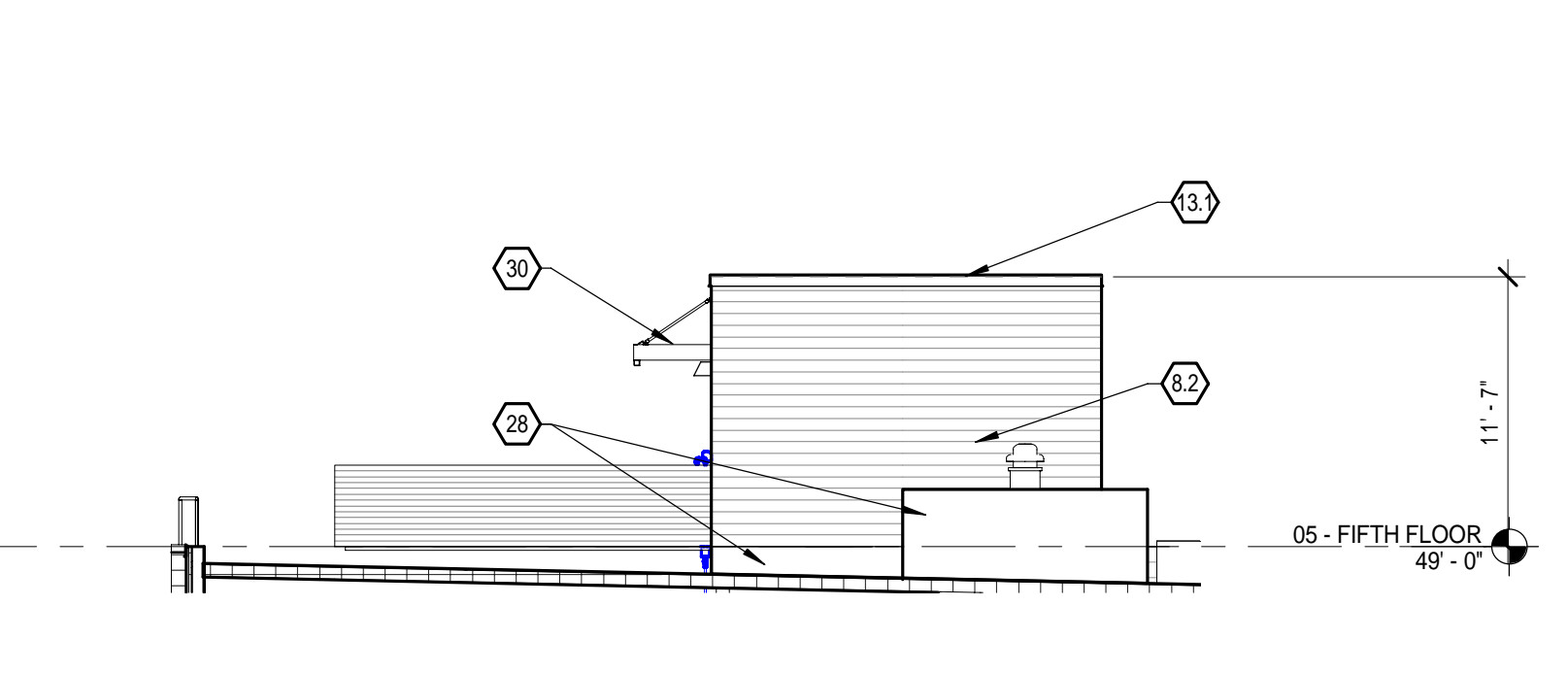
5 PENTHOUSE ELEVATION - EAST
SCALE : 1/8" = 1'-0"



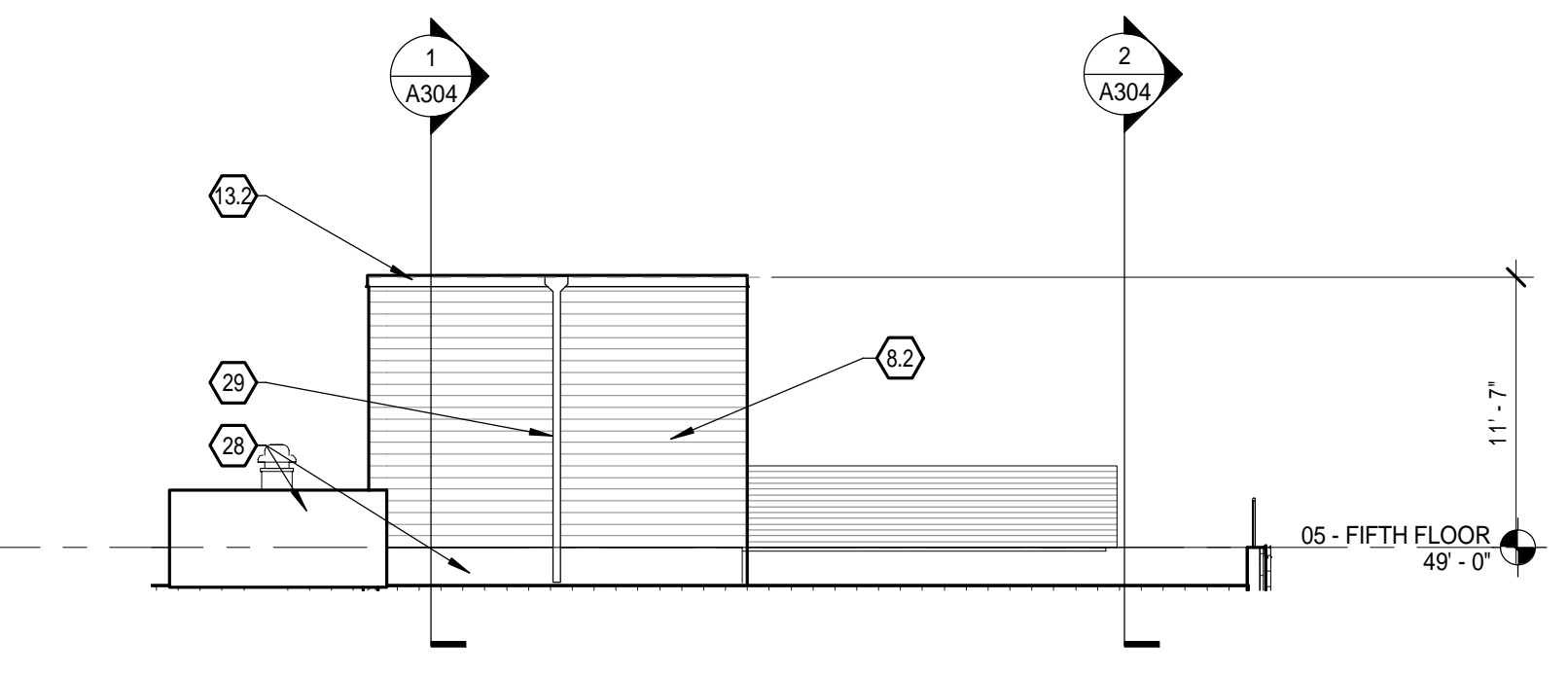
6 PENTHOUSE ELEVATION - SOUTH
SCALE : 1/8" = 1'-0"



7 PENTHOUSE ELEVATION - EAST
SCALE : 1/8" = 1'-0"



8 PENTHOUSE ELEVATION - NORTH
SCALE : 1/8" = 1'-0"



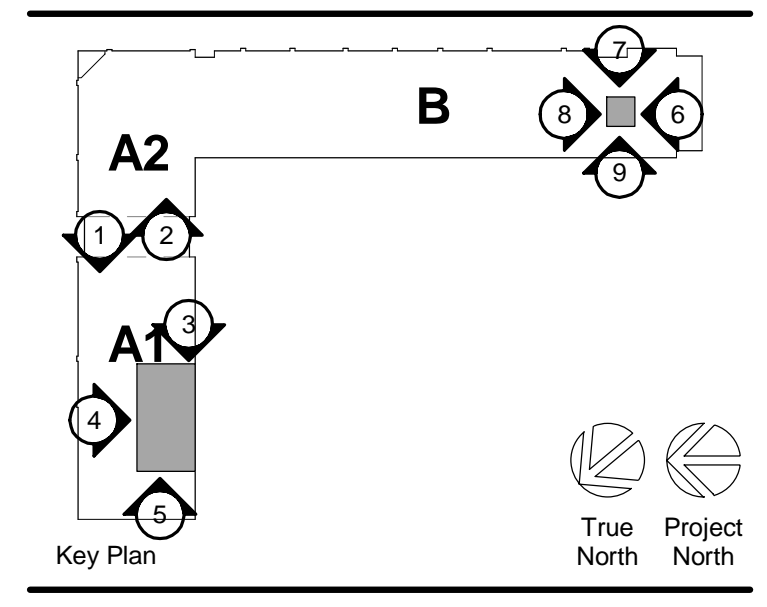
9 PENTHOUSE ELEVATION - WEST
SCALE : 1/8" = 1'-0"

GENERAL NOTES

- A. SEE DRAWING SHEETS A201 & A204 FOR EXTERIOR ELEVATION KEYNOTE LIST.
- B. REFER TO A600 SERIES DRAWINGS FOR DOOR & WINDOW SCHEDULES & STOREFRONT TYPES.
- C. REFER TO MECHANICAL DRAWINGS FOR LOUVERS & THROUGH-WALL VENTS. INSTALL IN A SYMMETRICAL MANNER.

KEYNOTES

1.1 BRICK TYPE 'A', RUNNING BOND	8.1 FIBER CEMENT PANEL (WOOD LOOK)	22.1 PRE-FABRICATED BOLT-ON JULIETTE STYLE BALCONY
1.2 BRICK TYPE 'A', ROW LOCK COURSE	8.2 FIBER CEMENT PANEL	22.2 PRE-FABRICATED BOLT-ON FULL-DEPTH BALCONY
1.3 BRICK TYPE 'A', SOLDIER COURSE	8.3 FIBER CEMENT LAP SIDING (8" LAP)	23 ROOF PLAZA PAVERS ON ADJUSTABLE PEDESTALS.
2.1 BRICK TYPE 'B', RUNNING BOND	9.1 EXTERIOR INSULATION FINISH SYSTEM (E.F.I.S.) w/ REVEALS	24 ROOFTOP PIPE ACCENT RAIL, PAINTED
2.2 BRICK TYPE 'B', ROW LOCK COURSE	9.2 EXTERIOR INSULATION FINISH SYSTEM (E.F.I.S.) w/ WALL CAP. SEE SECTIONS FOR PROFILE	25 HOLLOW METAL DOOR & FRAME, PAINTED PER DOOR SCHEDULE
2.3 BRICK TYPE 'B', SOLDIER COURSE	10 FLUSH METAL PANEL SYSTEM	26 CONTINUOUS FIBER CEMENT TRIM, 6" WIDE.
2.4 THIN BRICK, MATCH PLAIN, COLOR & COURSING OF BRICK TYPE 'B'	11 COMPOSITE METAL PANEL SYSTEM	28 MEMBRANE FLASHING
3.1 BRICK TYPE 'C', RUNNING BOND	12.1 VINYL SIDING TYPE 'A' w/ 6" LAP	29 THROUGH WALL SCUPPER & DOWNSPOUT w/ SPLASH BLOCK ON ROOF.
3.2 BRICK TYPE 'C', ROW LOCK COURSE	12.2 VINYL SIDING TYPE 'B' w/ 6" LAP	30 PRE-FABRICATED METAL CANOPY
3.3 BRICK TYPE 'C', SOLDIER COURSE	13.1 METAL COPING	
4 BRICK TYPE 'D', RUNNING BOND	13.2 METAL 'GRAVEL STOP' FASCIA	
5 LIMESTONE WALL CAP.	14.1 ALUMINUM STOREFRONT SYSTEM w/ INSULATED GLASS	
6.1 CAST STONE (DARK) PIER, STACKED BOND	14.2 ALUMINUM STOREFRONT ENTRANCE SYSTEM PER SCHEDULE	
6.2 LIMESTONE BASE, COLOR & TEXTURE TO MATCH DARK CAST STONE	14.3 BREAK METAL CLADDING TO MATCH STOREFRONT FINISH.	
6.3 CAST STONE (DARK) WITH REVEALS AT EACH MASONRY JOINT	15 CAST-IN-PLACE CONCRETE STEPS	
6.4 CONTINUOUS CAST STONE (DARK) ACCENT BAND	16 STAINLESS STEEL HANDRAIL	
7.1 CAST STONE (LIGHT) PIER, STACKED BOND	17 FABRIC AWNING SYSTEM.	
7.2 LIMESTONE BASE, COLOR & TEXTURE TO MATCH DARK CAST STONE	18 ORNAMENTAL METAL FENCE SYSTEM	
7.3 CAST STONE (LIGHT) WITH REVEALS AT EACH MASONRY JOINT	19 SLIDING FIBERGLASS PATIO DOOR PER SCHEDULE	
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	21 LIGHT FIXTURE PER ELECTRICAL, TYPICAL	



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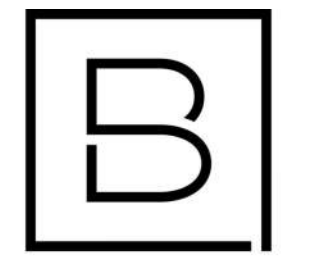
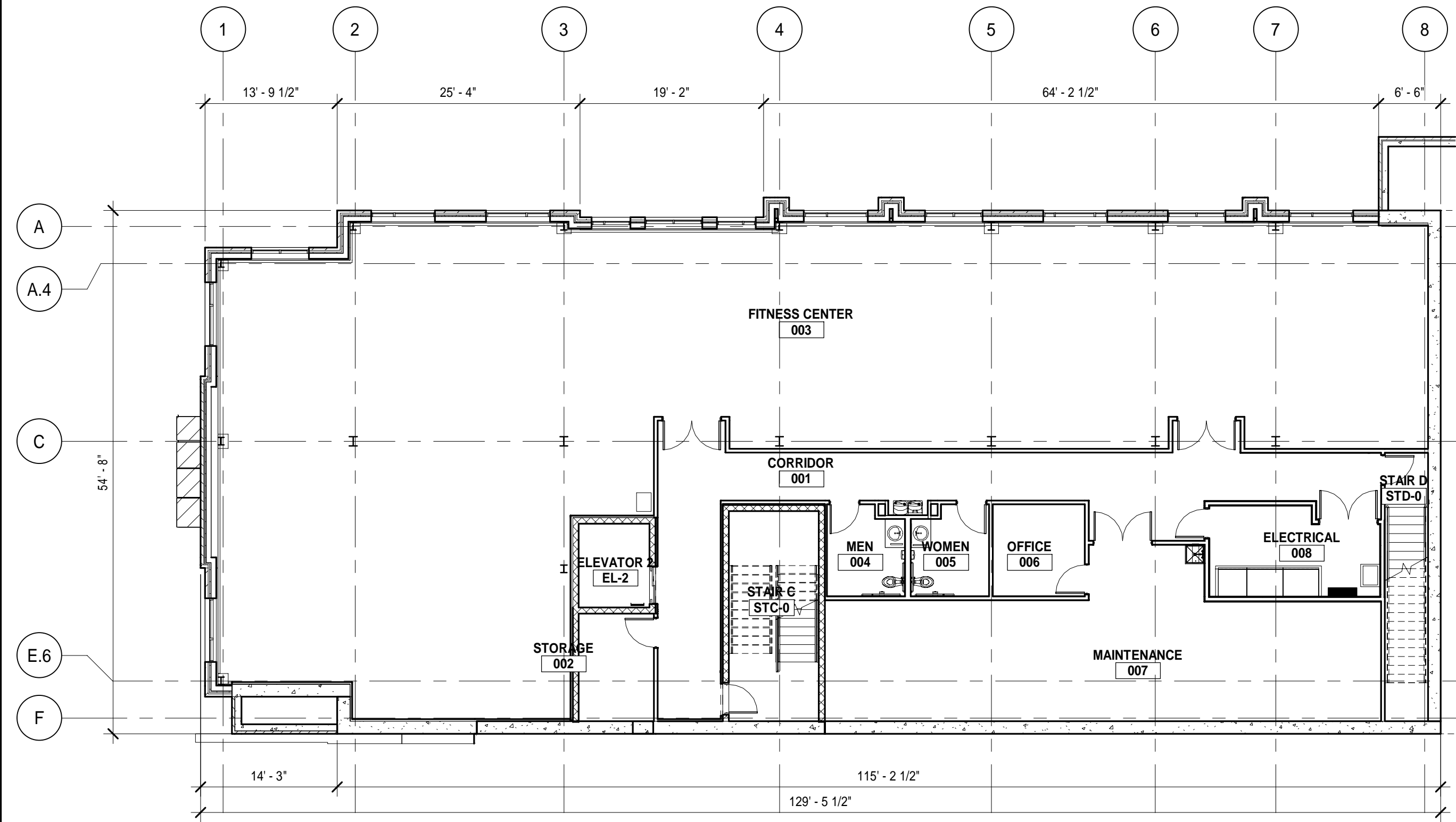
Project Manager	Discipline Lead
T. REDER	T. REDER
Designer	Reviewer
R. KEUNEKE	R. KEUNEKE
Date Issued	Project Number
8/25/2022	15548.00

Sheet Name

EXTERIOR ELEVATIONS - PARTIAL

Sheet Number **BUILDINGS A & B**

A204



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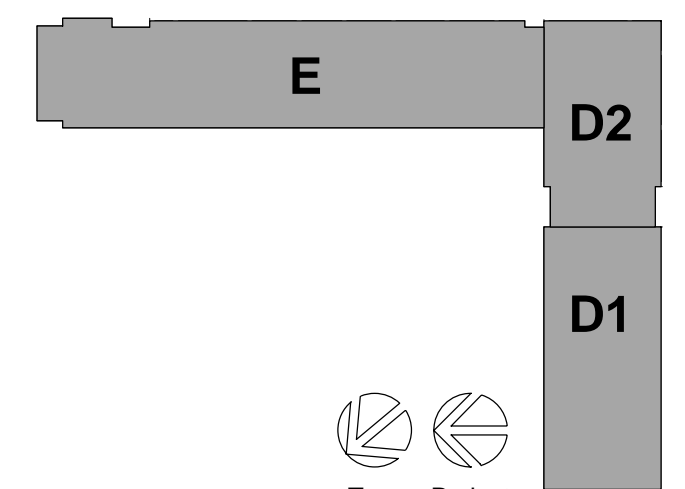
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THE VILLAGE OF OKEMOS

HAMILTON & OKEMOS ROADS
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Date Revised	Description
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4/1/2022	BIDS & PERMITS



Key Plan

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Project Manager	Discipline Lead
T. REDER	T. REDER
Designer	Reviewer
R. KEUNEKE	R. KEUNEKE
Date Issued	Project Number
4/1/2022	15548.00

Sheet Name

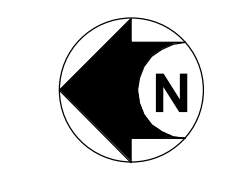
COMPOSITE BASEMENT FLOOR PLAN

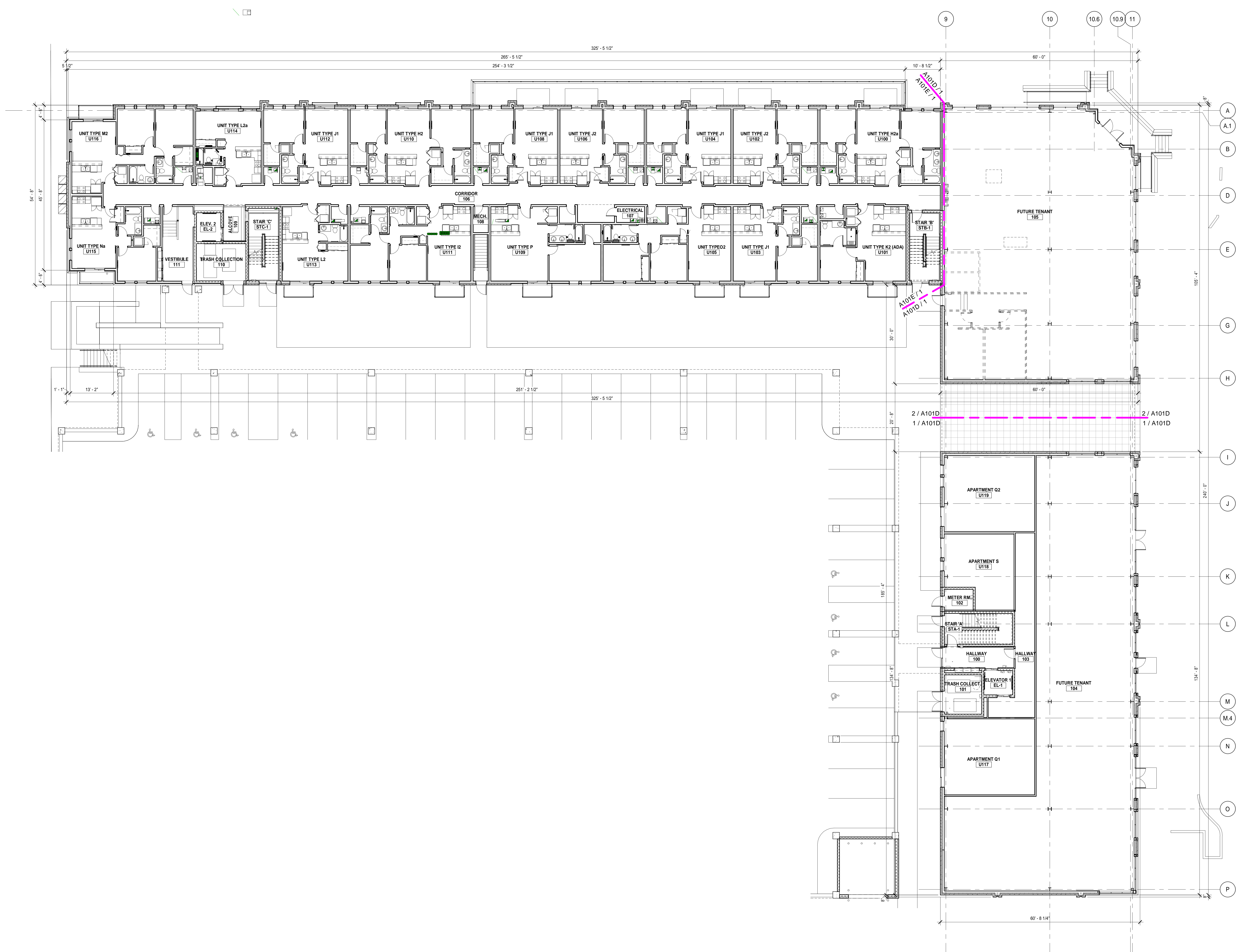
Sheet Number **BUILDINGS D & E**

A010

COMPOSITE BASEMENT FLOOR PLAN

SCALE: 3/32" = 1'-0"





COMPOSITE FIRST FLOOR PLAN
 SCALE: 3/32" = 1'-0"

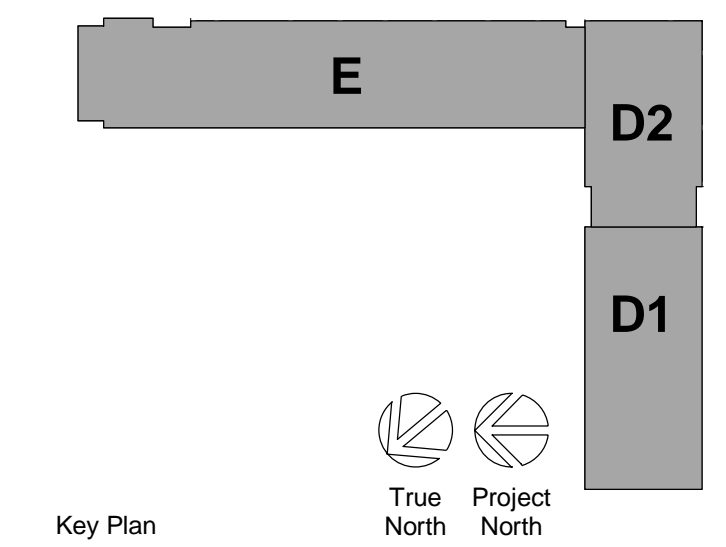


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Date Revised	Description
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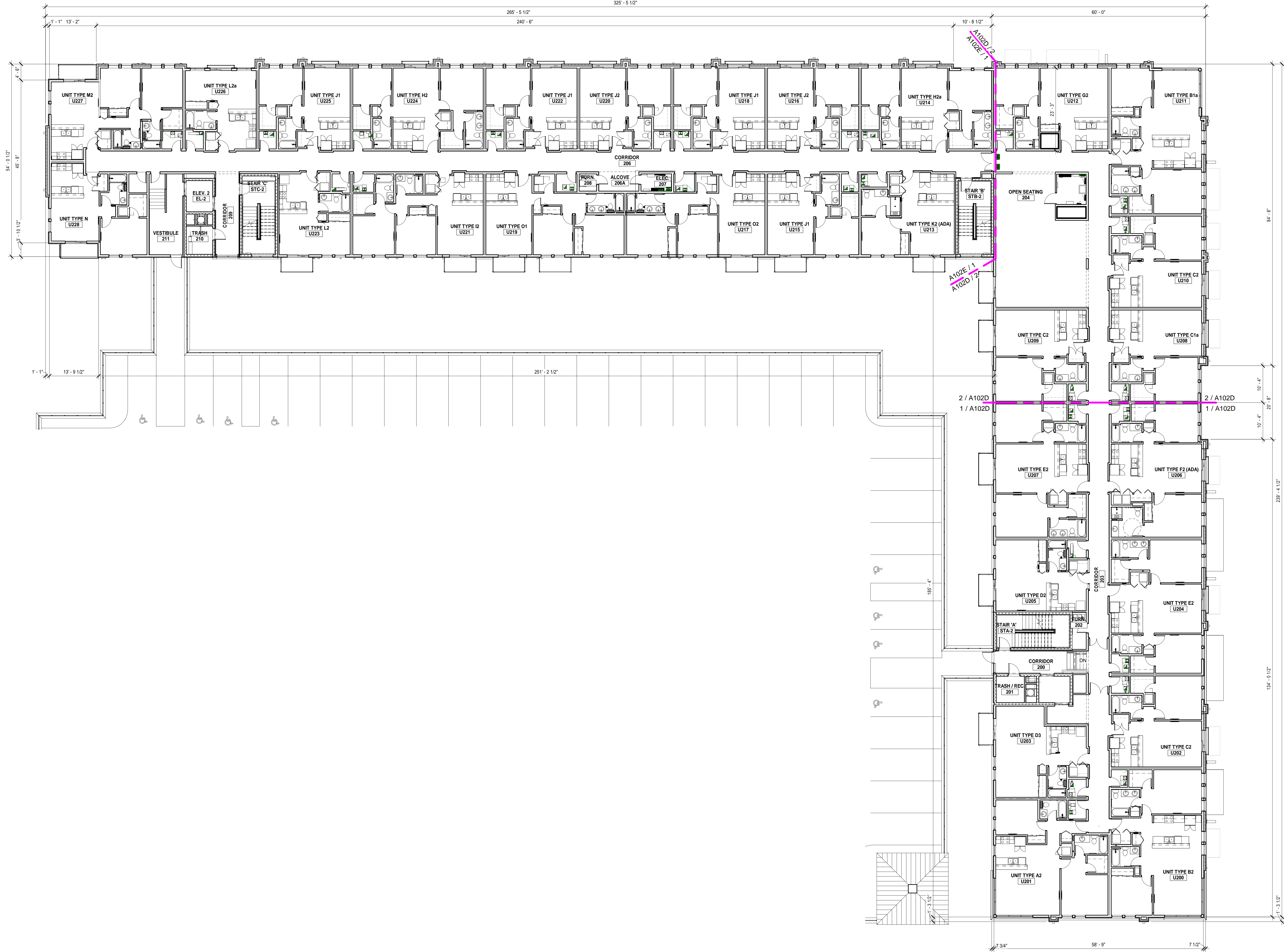
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Designer R. KEUNEKE	Reviewer R. KEUNEKE
Date Issued 4/1/2022	Project Number 15548.00

Sheet Name

COMPOSITE FIRST FLOOR PLAN

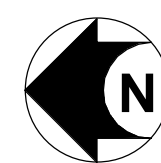
Sheet Number **BUILDINGS D & E**

A011



COMPOSITE SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"



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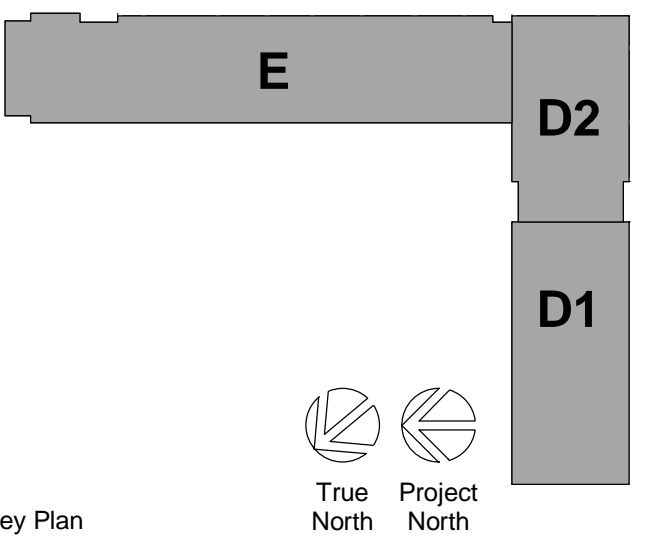
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Project Manager	Discipline Lead
T. REDER	T. REDER
Designer	Reviewer
R. KEUNEKE	R. KEUNEKE
Date Issued	Project Number
4/1/2022	15548.00

Sheet Name

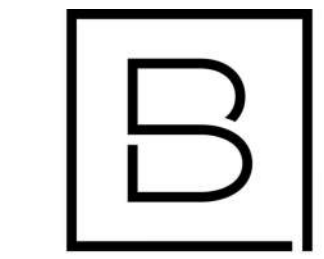
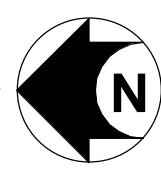
COMPOSITE SECOND FLOOR PLAN

Sheet Number BUILDINGS D & E

A012



COMPOSITE THIRD FLOOR PLAN
 SCALE: 3/32" = 1'-0"



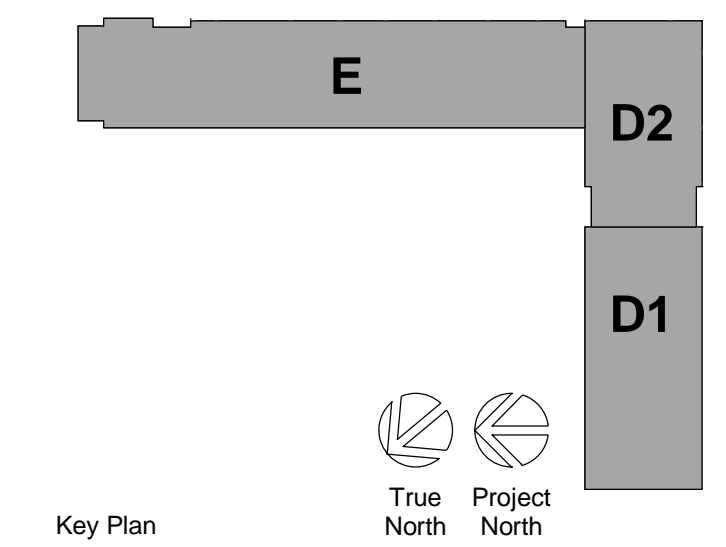
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Project Manager	Discipline Lead
T. REDER	T. REDER
Designer	Reviewer
R. KEUNEKE	R. KEUNEKE
Date Issued	Project Number
4/1/2022	15548.00

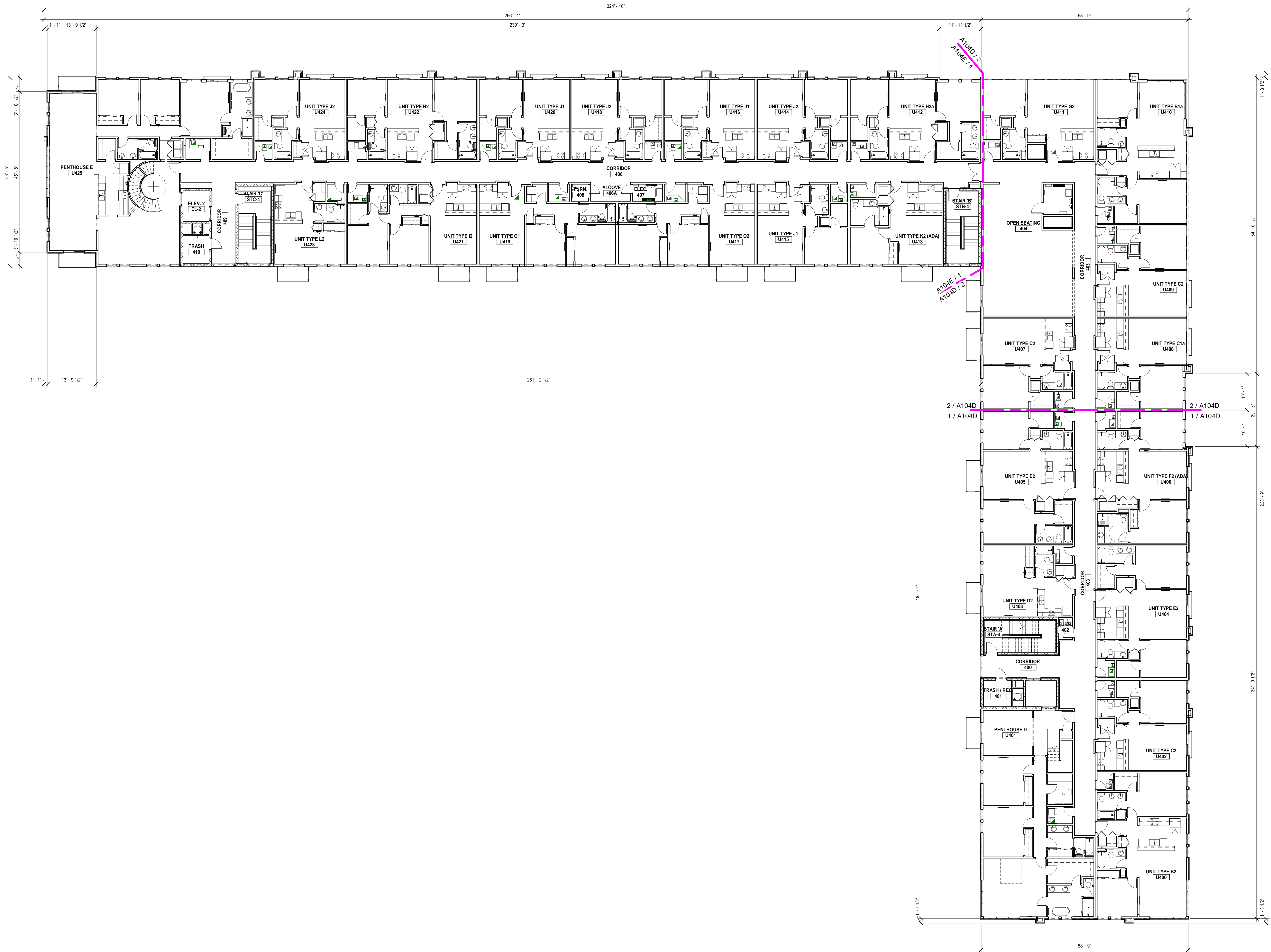
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COMPOSITE THIRD FLOOR PLAN

Sheet Number BUILDINGS D & E

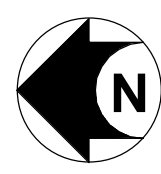
A013

ARCHIT. 3042

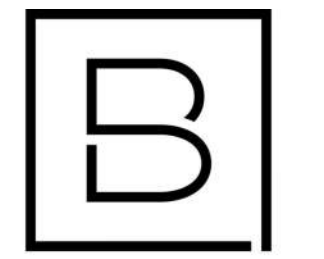


COMPOSITE FOURTH FLOOR PLAN

SCALE: 3/32" = 1'-0"



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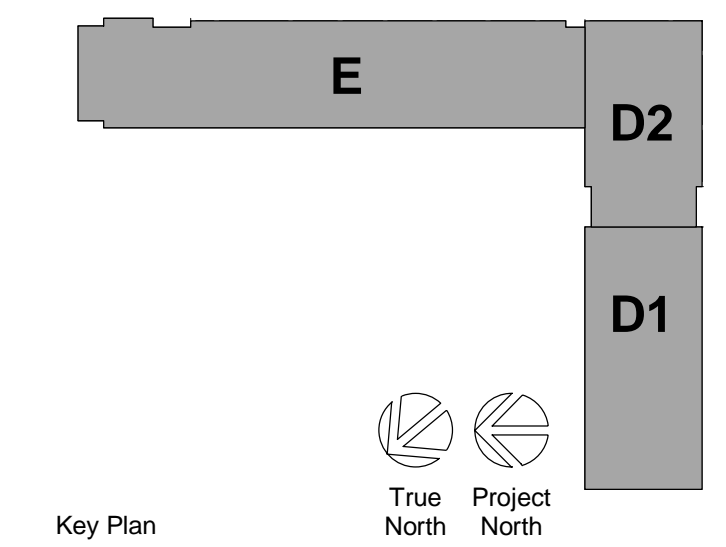
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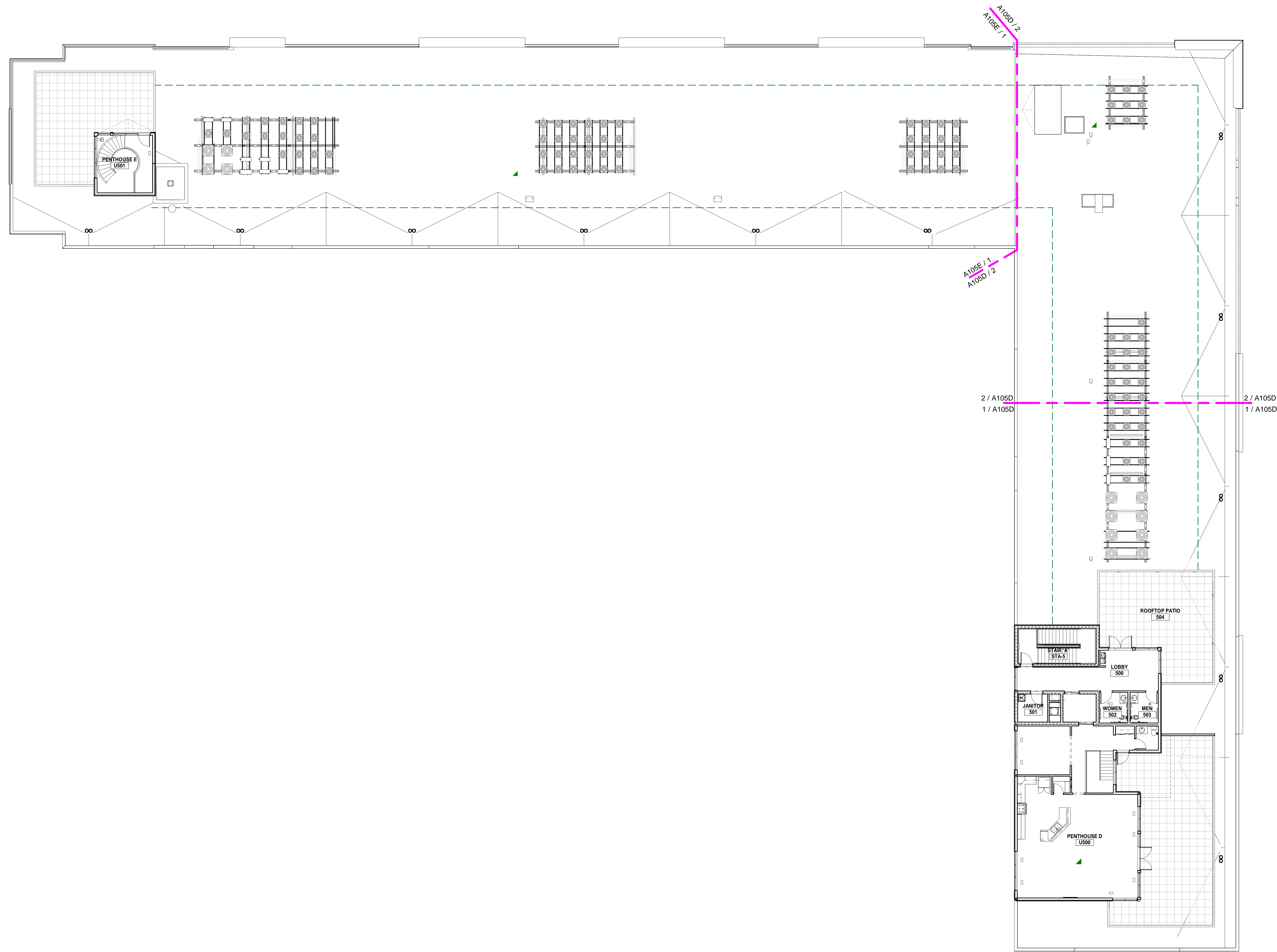
Project Manager	Discipline Lead
T. REDER	T. REDER
Designer	Reviewer
R. KEUNEKE	R. KEUNEKE
Date Issued	Project Number
4/1/2022	15548.00

Sheet Name

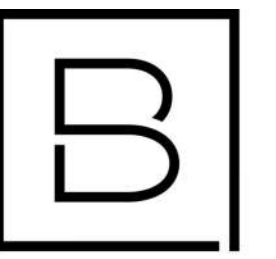
COMPOSITE FOURTH FLOOR PLAN

Sheet Number **BUILDINGS D & E**

A014



COMPOSITE FIFTH FLOOR & ROOF PLAN
 SCALE: 3/32" = 1'-0"



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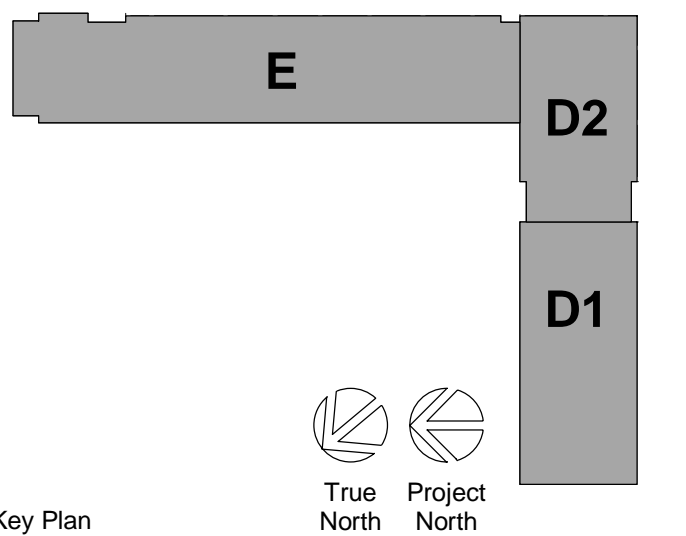
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 OKEMOS, MI 48864

Date Revised	Description
1/31/2022	SITE PLAN APPROVAL
4/1/2022	BIDS & PERMITS



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Project Manager T. REDER	Discipline Lead T. REDER
Designer R. KEUNEKE	Reviewer R. KEUNEKE
Date Issued 4/1/2022	Project Number 15548.00

Sheet Name

COMPOSITE FIFTH FLOOR & ROOF PLAN

Sheet Number **BUILDINGS D & E**

A015

GENERAL NOTES

- A. SEE DRAWING SHEETS A201 & A204 FOR EXTERIOR ELEVATION KEYNOTE LIST.
- B. REFER TO A600 SERIES DRAWINGS FOR DOOR & WINDOW SCHEDULES & STOREFRONT TYPES.
- C. REFER TO MECHANICAL DRAWINGS FOR LOUVERS & THROUGH-WALL VENTS. INSTALL IN A SYMMETRICAL MANNER.

KEYNOTES

1.1 BRICK TYPE 'A', RUNNING BOND	7.5 CAST STONE (LIGHT), w/ 12' COURSING, RUNNING BOND	21 LIGHT FIXTURE PER ELECTRICAL, TYPICAL
1.2 BRICK TYPE 'A', ROW LOCK COURSE	8.1 FIBER CEMENT PANEL (WOOD LOOK)	22.1 PRE-FABRICATED BOLT-ON JULIETTE STYLE BALCONY
1.3 BRICK TYPE 'A', SOLDIER COURSE	8.2 FIBER CEMENT PANEL	22.2 PRE-FABRICATED BOLT-ON FULL-DEPTH BALCONY
2.1 BRICK TYPE 'B', RUNNING BOND	8.3 FIBER CEMENT LAP SIDING (8" LAP)	23 ROOF PLAZA PAVERS ON ADJUSTABLE PEDESTALS.
2.2 BRICK TYPE 'B', ROW LOCK COURSE	9.1 EXTERIOR INSULATION FINISH SYSTEM (E.F.I.S.) w/ REVEALS	24 ROOFTOP PIPE ACCENT RAIL, PAINTED
2.3 BRICK TYPE 'B', SOLDIER COURSE	9.2 EXTERIOR INSULATION FINISH SYSTEM (E.F.I.S.) w/ WALL CAP. SEE SECTIONS FOR PROFILE	25 HOLLOW METAL DOOR & FRAME, PAINTED PER DOOR SCHEDULE
2.4 THIN BRICK, MATCH PLAIN, COLOR & COURSING OF BRICK TYPE 'B'	10 FLUSH METAL PANEL SYSTEM	26 CONTINUOUS FIBER CEMENT TRIM, 6" WIDE.
3.1 BRICK TYPE 'C', RUNNING BOND	11 COMPOSITE METAL PANEL SYSTEM	27 STEP MASONRY LEDGE AS REQUIRED. COORDINATE WITH CIVIL GRADING.
3.2 BRICK TYPE 'C', ROW LOCK COURSE	12.1 VINYL SIDING TYPE 'A' w/ 6" LAP	28 MEMBRANE FLASHING
3.3 BRICK TYPE 'C', SOLDIER COURSE	12.2 VINYL SIDING TYPE 'B' w/ 6" LAP	29 THROUGH WALL SCUPPER & DOWNSPOUT w/ SPLASH BLOCK ON ROOF.
4 BRICK TYPE 'D', RUNNING BOND	13.1 METAL COPING	30 PRE-FABRICATED METAL CANOPY
5 LIMESTONE WALL CAP	13.2 METAL GRAVEL STOP FASCIA	31 ELECTRICAL EQUIPMENT
6.1 CAST STONE (DARK) PIER, STACKED BOND	14.1 ALUMINUM STOREFRONT SYSTEM w/ INSULATED GLASS	
6.2 LIMESTONE BASE, COLOR & TEXTURE TO MATCH DARK CAST STONE.	14.2 ALUMINUM STOREFRONT ENTRANCE SYSTEM PER SCHEDULE	
6.3 CAST STONE (DARK) WITH REVEALS AT EACH MASONRY JOINT	14.3 BREAK METAL CLADDING TO MATCH STOREFRONT FINISH.	
6.4 CONTINUOUS CAST STONE (DARK) ACCENT BAND	15 CAST-IN-PLACE CONCRETE STEPS	
7.1 CAST STONE (LIGHT) PIER, STACKED BOND	16 STAINLESS STEEL HANDRAIL	
7.2 LIMESTONE BASE, COLOR & TEXTURE TO MATCH LIGHT CAST STONE.	17 FABRIC AWNING SYSTEM.	
7.3 CAST STONE (LIGHT) WITH REVEALS AT EACH MASONRY JOINT	18 ORNAMENTAL METAL FENCE SYSTEM	
7.4 CONTINUOUS CAST STONE (LIGHT) ACCENT BAND	19 SLIDING FIBERGLASS PATIO DOOR PER SCHEDULE	
	20 FIBERGLASS WINDOW w/ INSULATED GLASS PER SCHEDULE	

NOTE: SEE PARTIAL ELEVATIONS, DRAWING SHEET A205 FOR ADDITIONAL INFORMATION ON ROOFTOP STRUCTURES.

T.O. BLDG. (PENTHOUSE) 62'-2"

T.O. BLOCKING (HIGH) 50'-8"

05 - FIFTH FLOOR 49'-0"

04 - FOURTH FLOOR 36'-0"

03 - THIRD FLOOR 25'-0"

02 - SECOND FLOOR 14'-0"

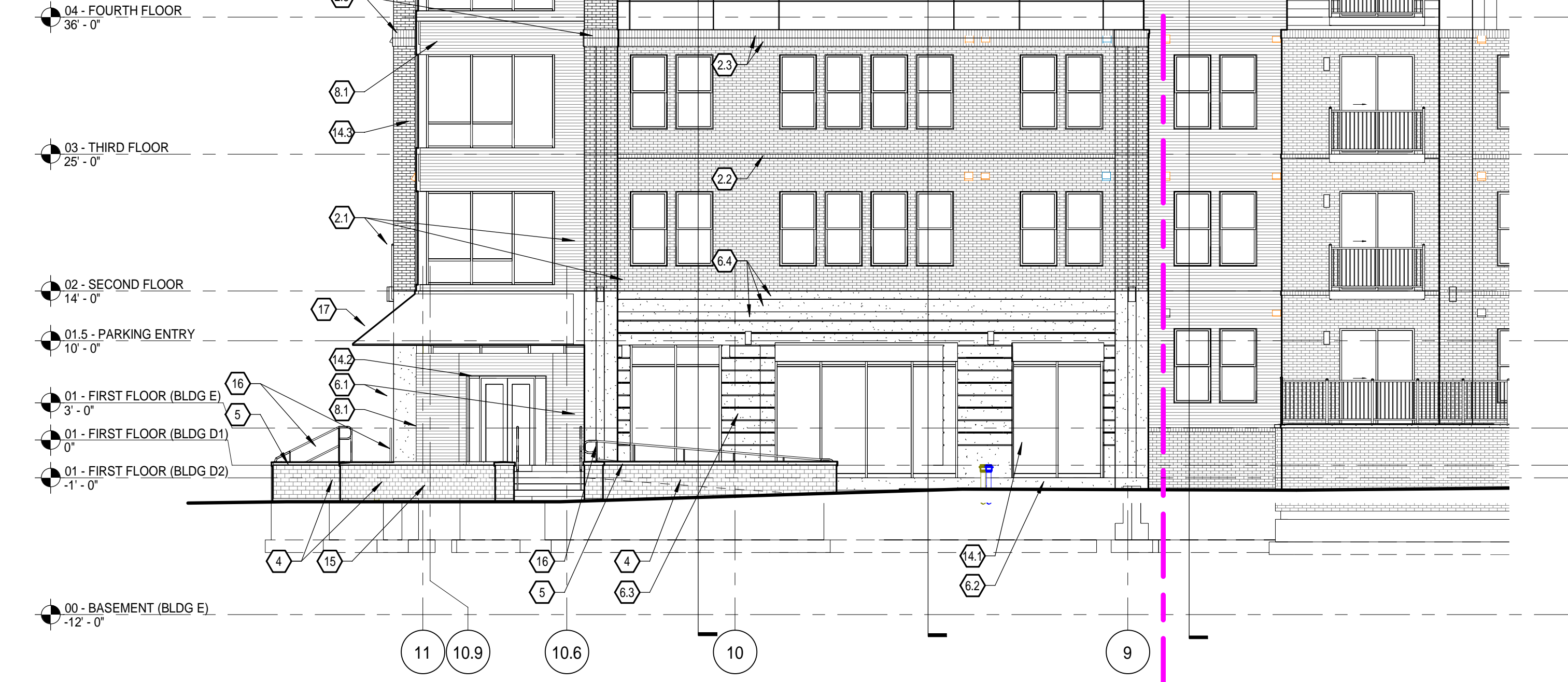
01.5 - PARKING ENTRY 10'-0"

01 - FIRST FLOOR (BLDG E) 3'-0"

01 - FIRST FLOOR (BLDG D1) 0'

01 - FIRST FLOOR (BLDG D2) -1'-0"

00 - BASEMENT (BLDG E) -12'-0"



1 EAST (OKEMOS ROAD) ELEVATION - BUILDING 'D2'
SCALE: 1/8" = 1'-0"

NOTE: SEE PARTIAL ELEVATIONS, DRAWING SHEET A205 FOR ADDITIONAL INFORMATION ON ROOFTOP STRUCTURES.



2 EAST (OKEMOS ROAD) ELEVATION - BUILDING 'E'
SCALE: 1/8" = 1'-0"

1/8" = 1'-0"
8'-0"

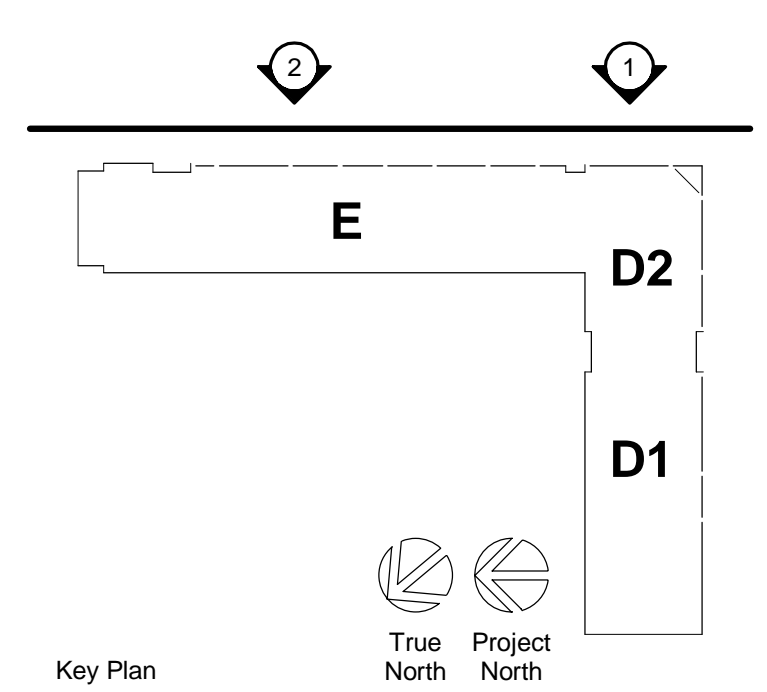
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THE VILLAGE OF OKEMOS

HAMILTON & OKEMOS ROADS
OKEMOS, MI 48864

Date Revised	Description
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Project Manager T. REDER	Discipline Lead T. REDER
Designer R. KEUNEKE	Reviewer R. KEUNEKE
Date Issued 4/1/2022	Project Number 15548.00

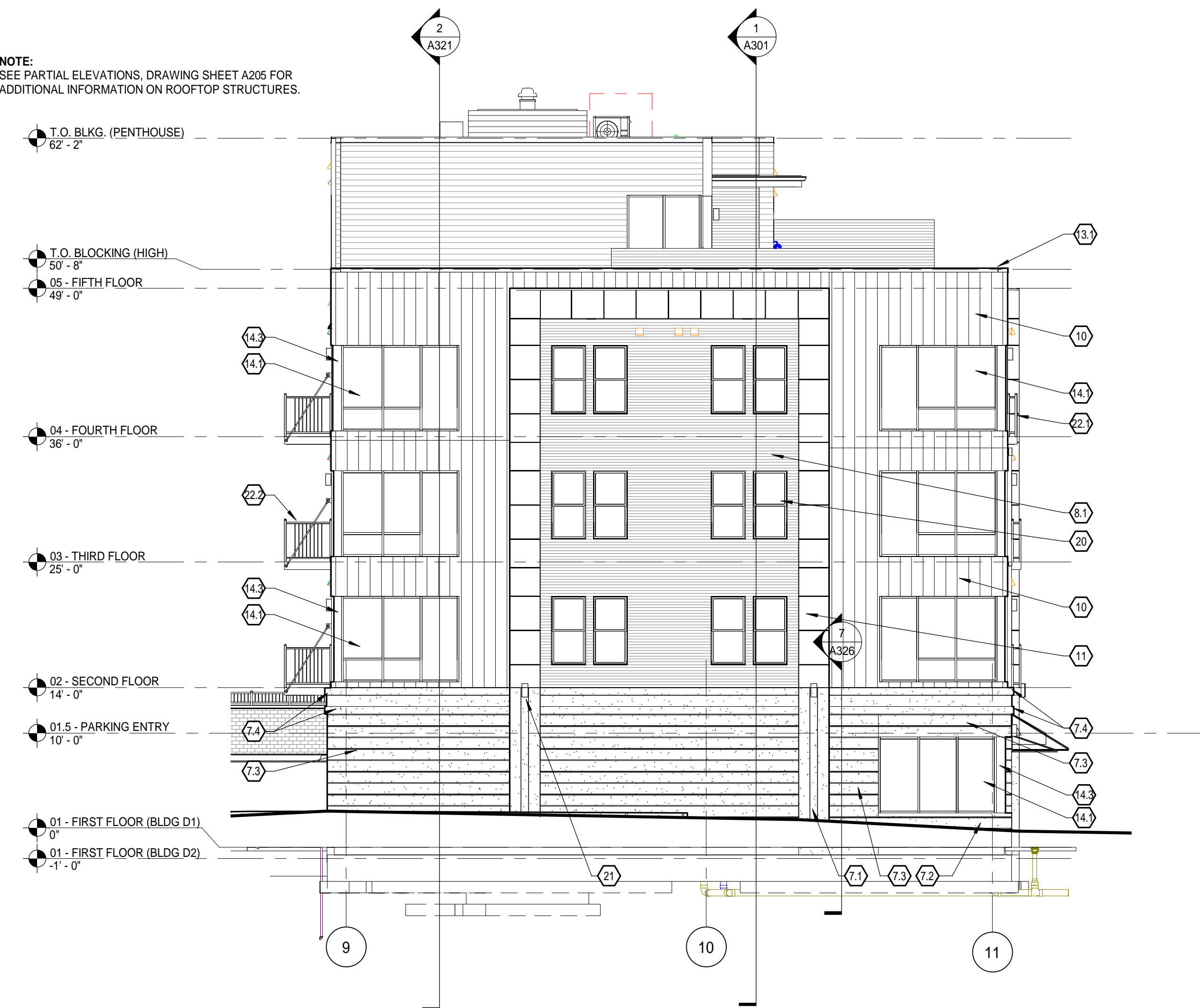
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EXTERIOR ELEVATIONS

Sheet Number BUILDINGS D & E

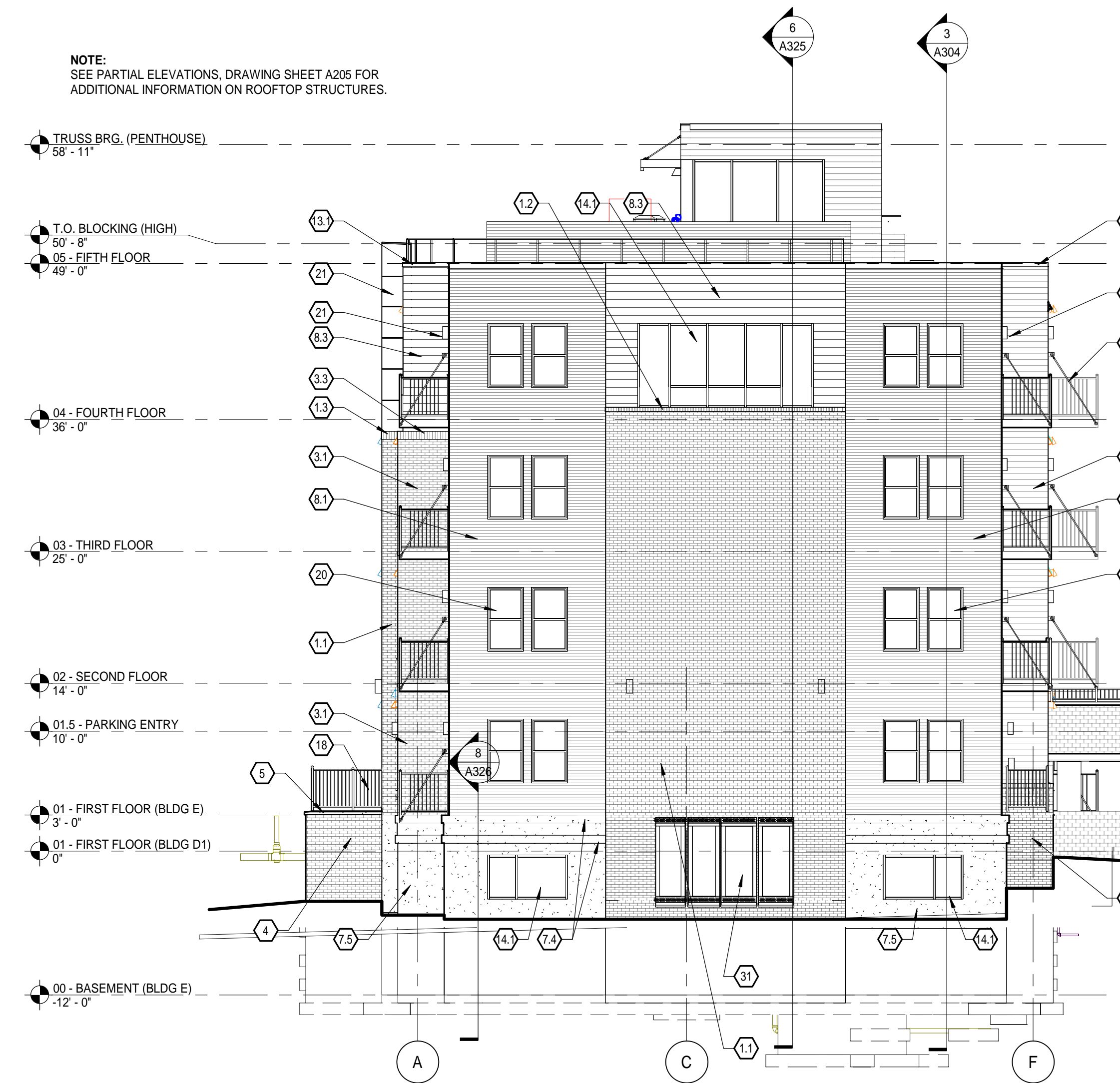
A201

NOTE:
SEE PARTIAL ELEVATIONS, DRAWING SHEET A205 FOR
ADDITIONAL INFORMATION ON ROOFTOP STRUCTURES.



1 WEST ELEVATION - BUILDING 'D'
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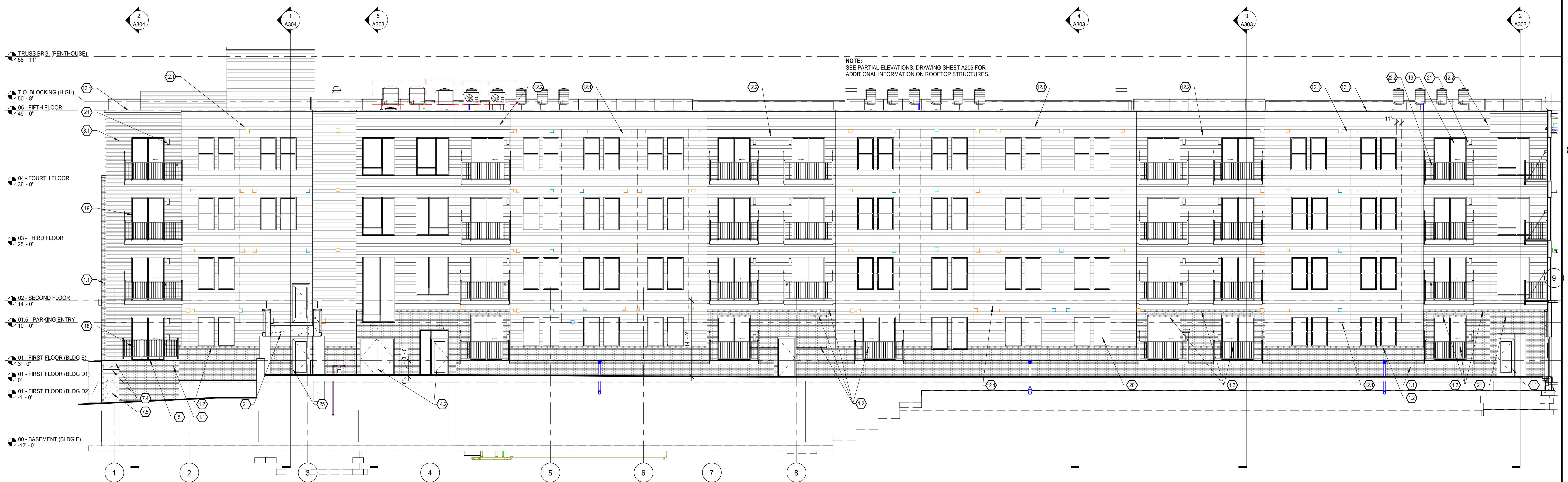
NOTE:
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ADDITIONAL INFORMATION ON ROOFTOP STRUCTURES.



2 NORTH ELEVATION - BUILDING 'E'
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. SEE DRAWING SHEETS A201 & A204 FOR EXTERIOR ELEVATION KEYNOTE LIST.
- B. REFER TO A600 SERIES DRAWINGS FOR DOOR & WINDOW SCHEDULES & STOREFRONT TYPES.
- C. REFER TO MECHANICAL DRAWINGS FOR LOUVERS & THROUGH-WALL VENTS. INSTALL IN A SYMMETRICAL MANNER.



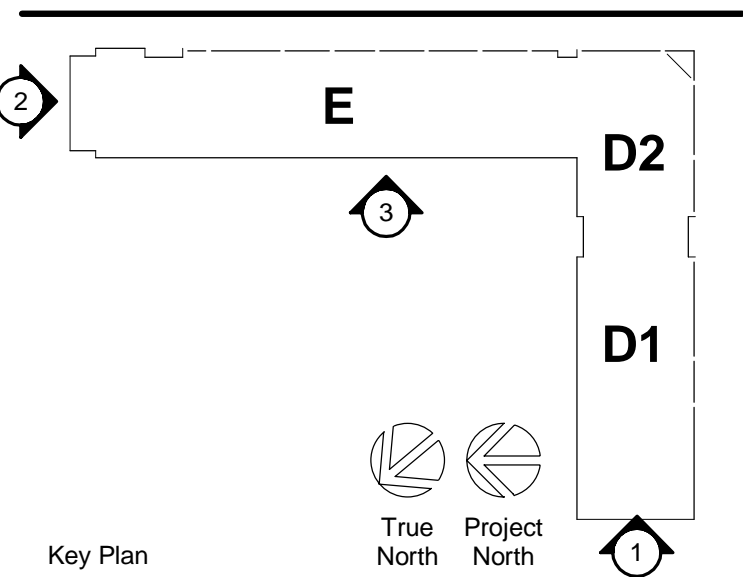
3 WEST ELEVATION - BUILDING 'E'
SCALE: 1/8" = 1'-0"

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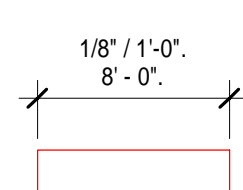
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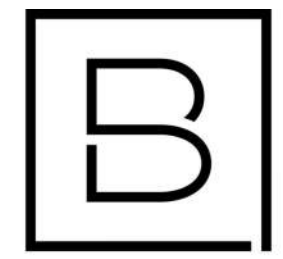
Project Manager	Discipline Lead
T. REDER	T. REDER
Designer	Reviewer
R. KEUNEKE	R. KEUNEKE
Date Issued	Project Number
4/1/2022	15548.00

Sheet Name

EXTERIOR ELEVATIONS

Sheet Number **BUILDINGS D & E**





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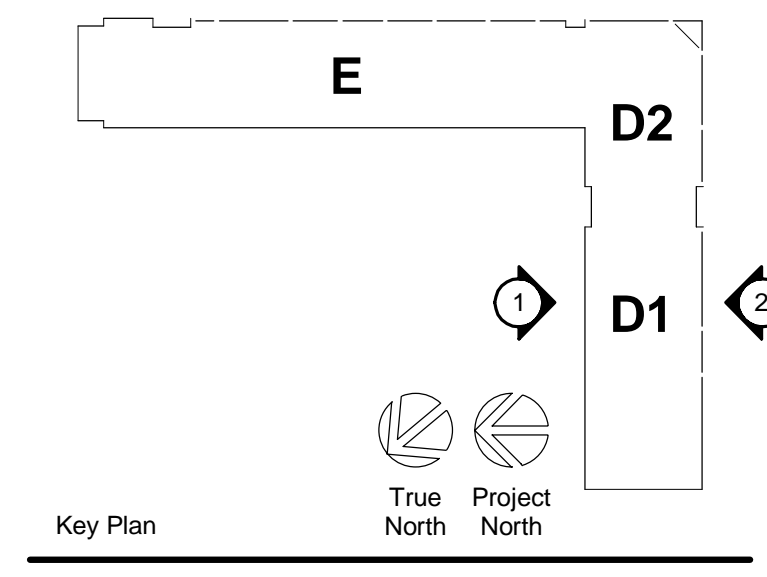
1 SOUTH (HAMILTON ROAD) ELEVATION - BUILDING 'D'
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. SEE DRAWING SHEETS A201 & A204 FOR EXTERIOR ELEVATION KEYNOTE LIST.
- B. REFER TO A600 SERIES DRAWINGS FOR DOOR & WINDOW SCHEDULES & STOREFRONT TYPES.
- C. REFER TO MECHANICAL DRAWINGS FOR LOUVERS & THROUGH-WALL VENTS. INSTALL IN A SYMMETRICAL MANNER.



2 NORTH ELEVATION - BUILDING 'D'
SCALE: 1/8" = 1'-0"



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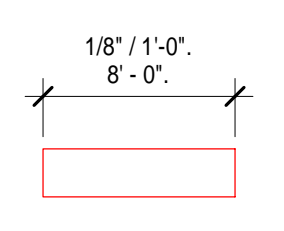
Project Manager T. REDER	Discipline Lead T. REDER
Designer R. KEUNEKE	Reviewer R. KEUNEKE
Date Issued 4/1/2022	Project Number 15548.00

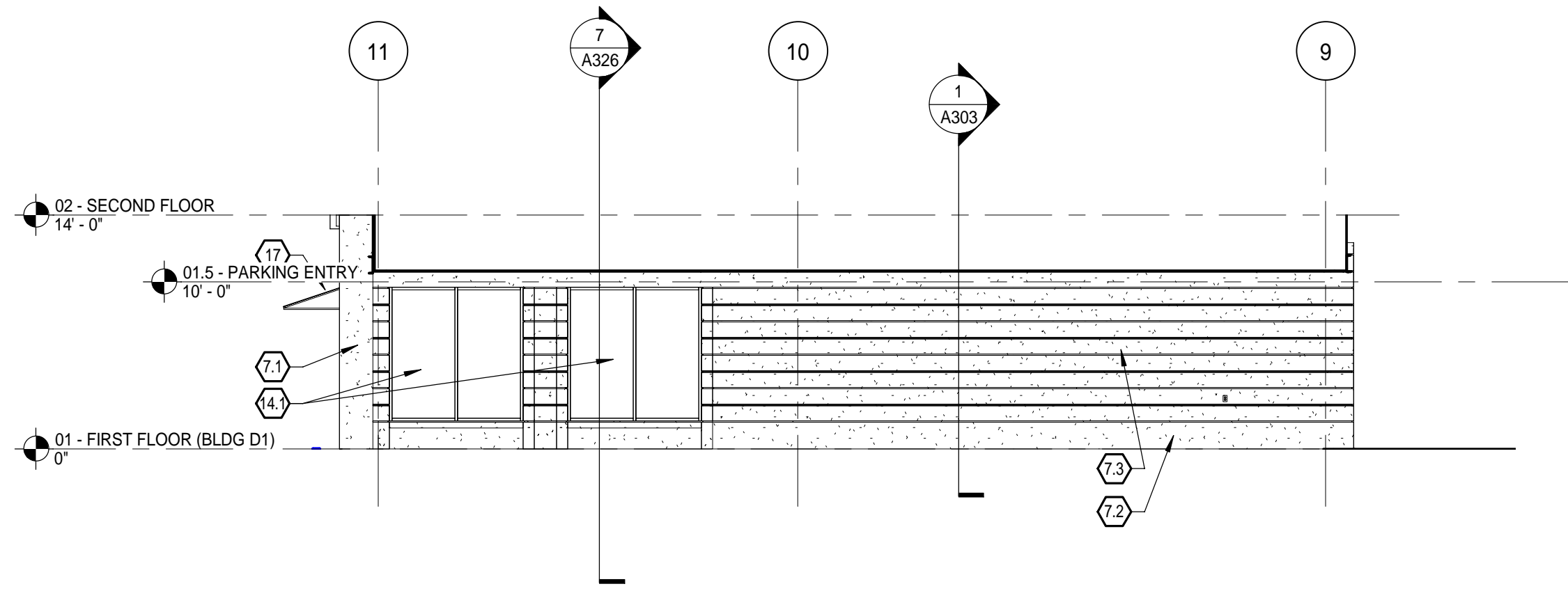
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EXTERIOR ELEVATIONS

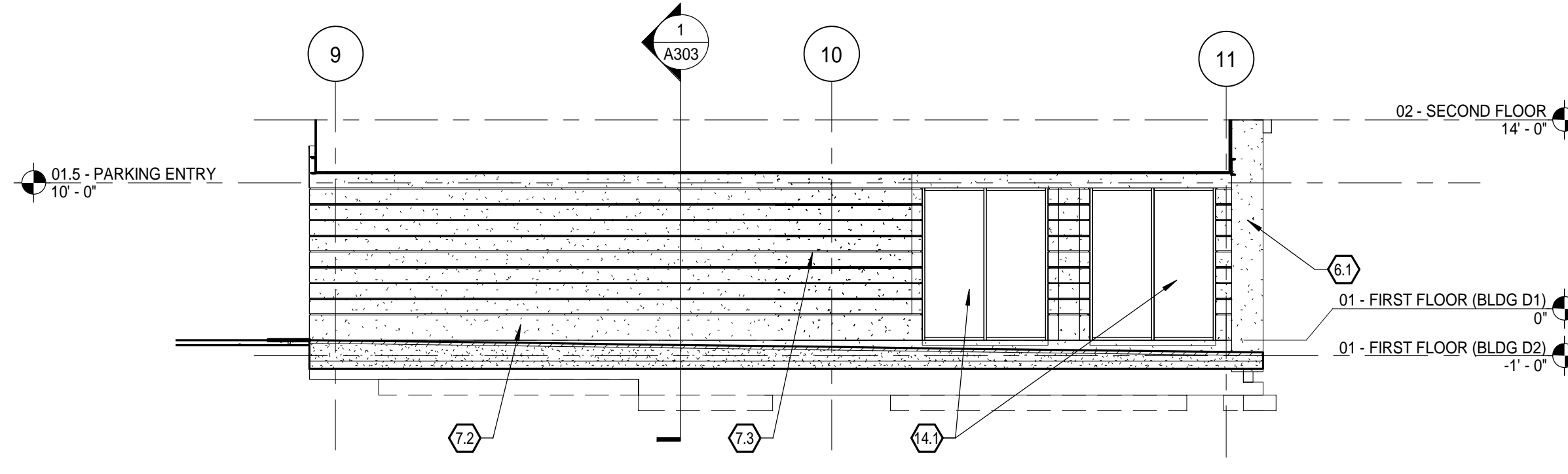
Sheet Number **BUILDINGS D & E**

A203

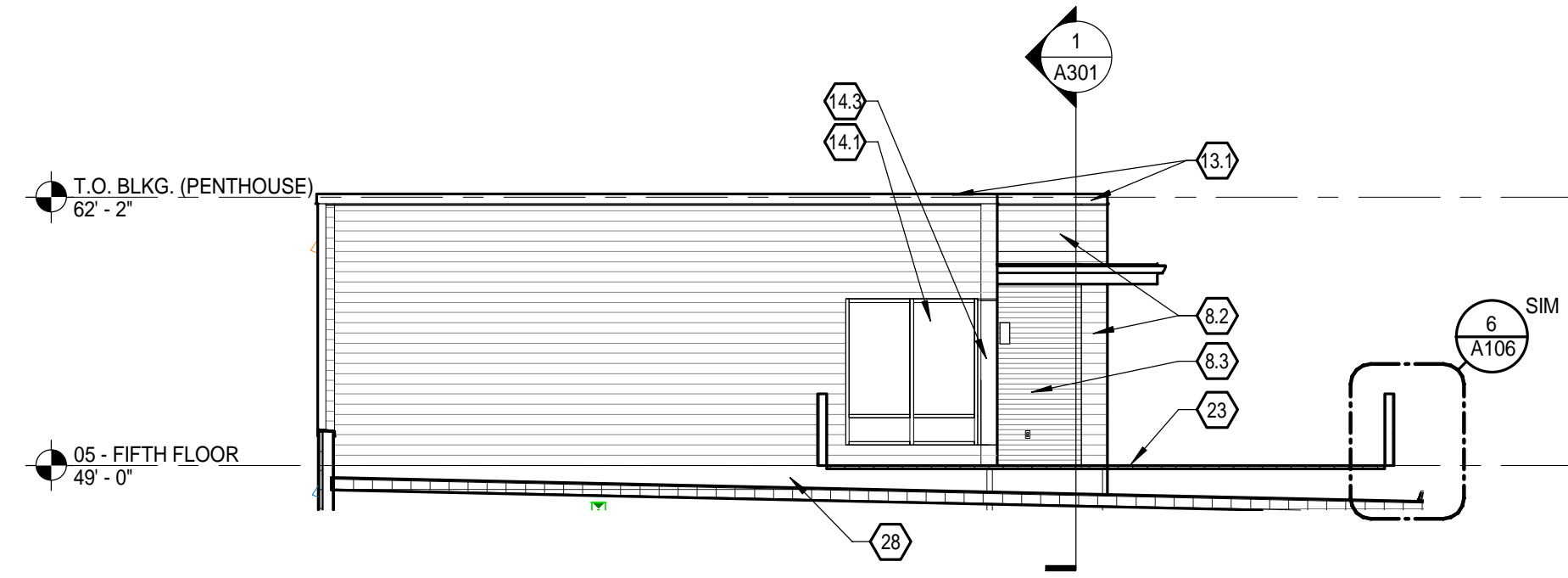




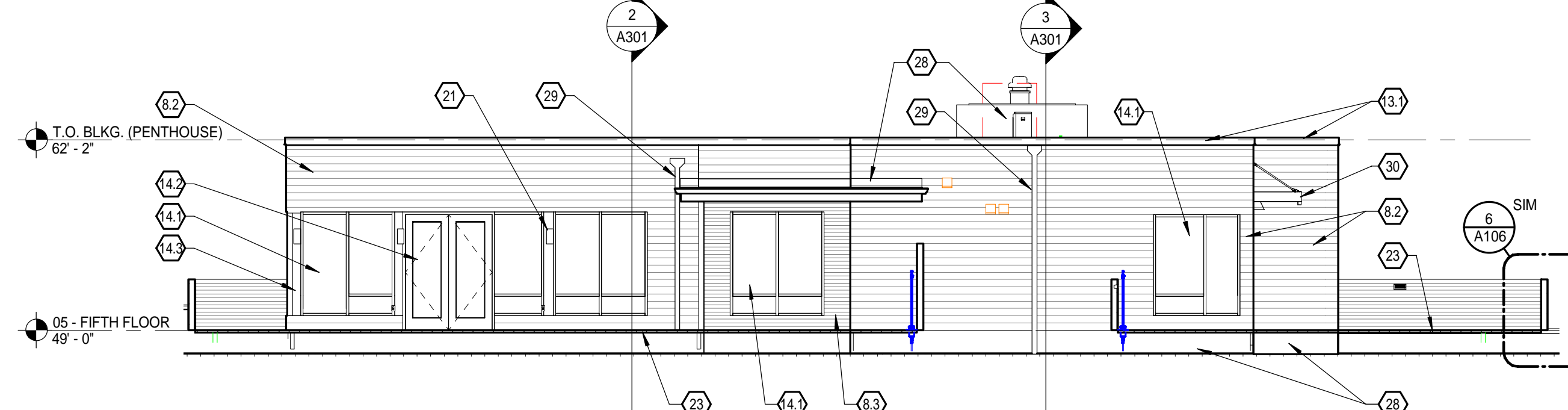
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SCALE: 1/8" = 1'-0"



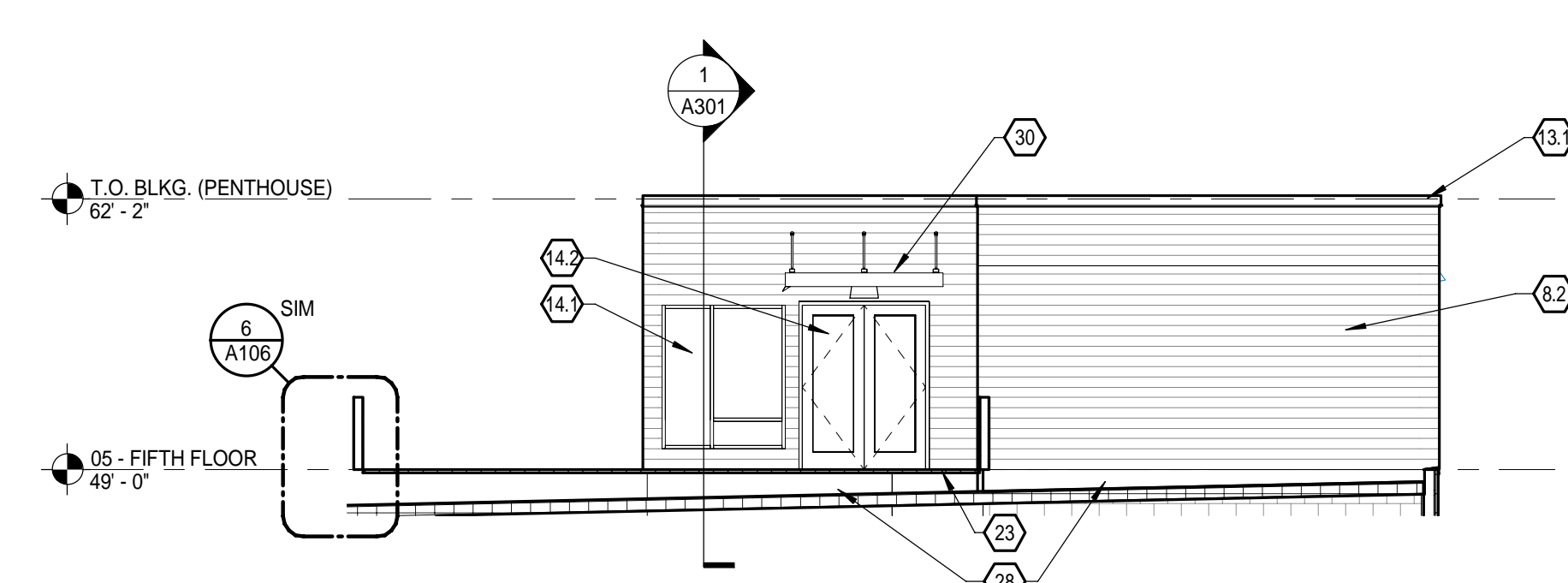
2 PASS THROUGH ELEVATION - WEST
SCALE: 1/8" = 1'-0"



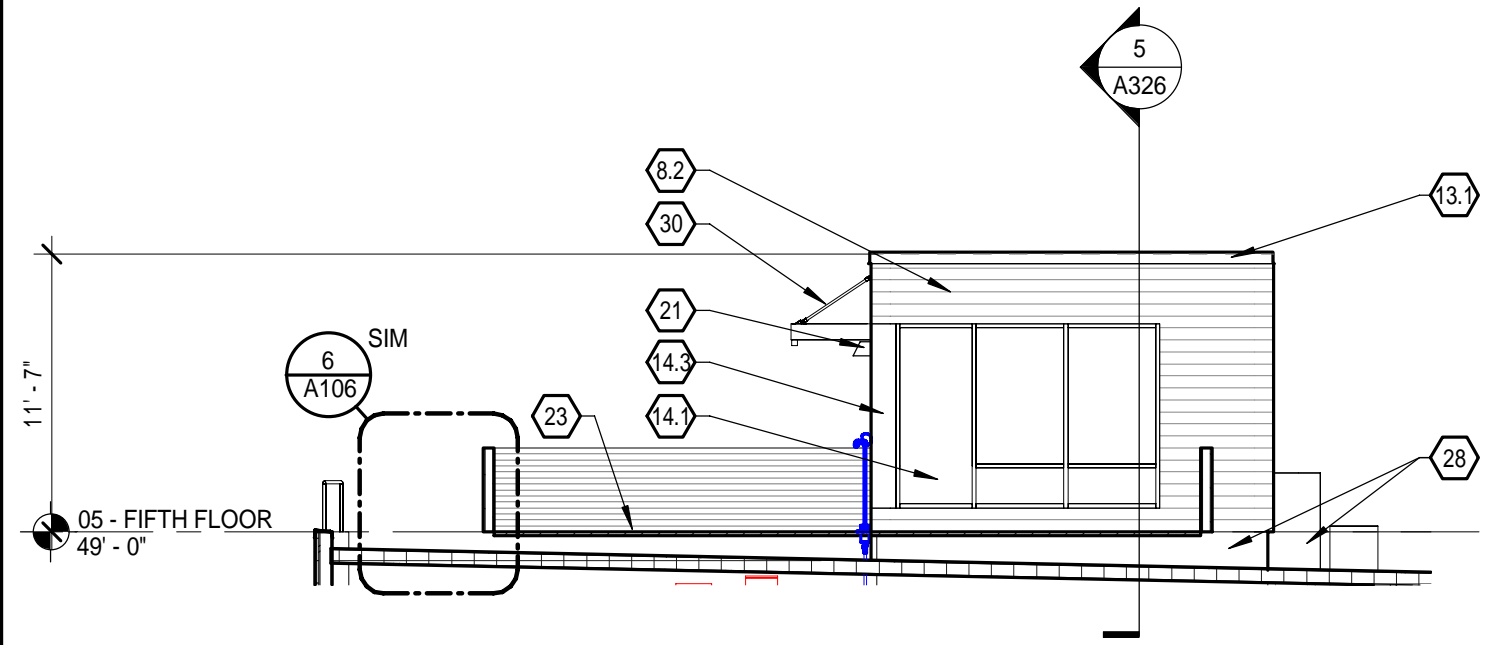
3 PENTHOUSE ELEVATION - WEST
SCALE: 1/8" = 1'-0"



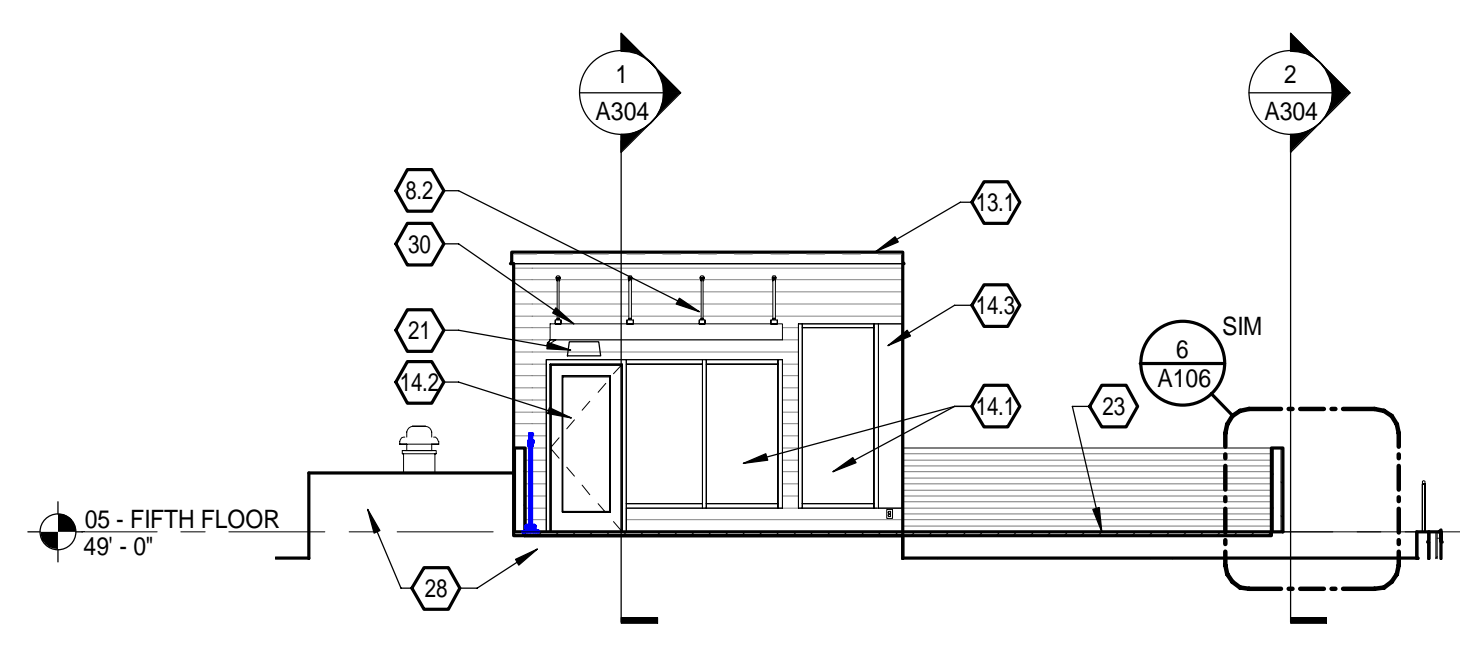
4 PENTHOUSE ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



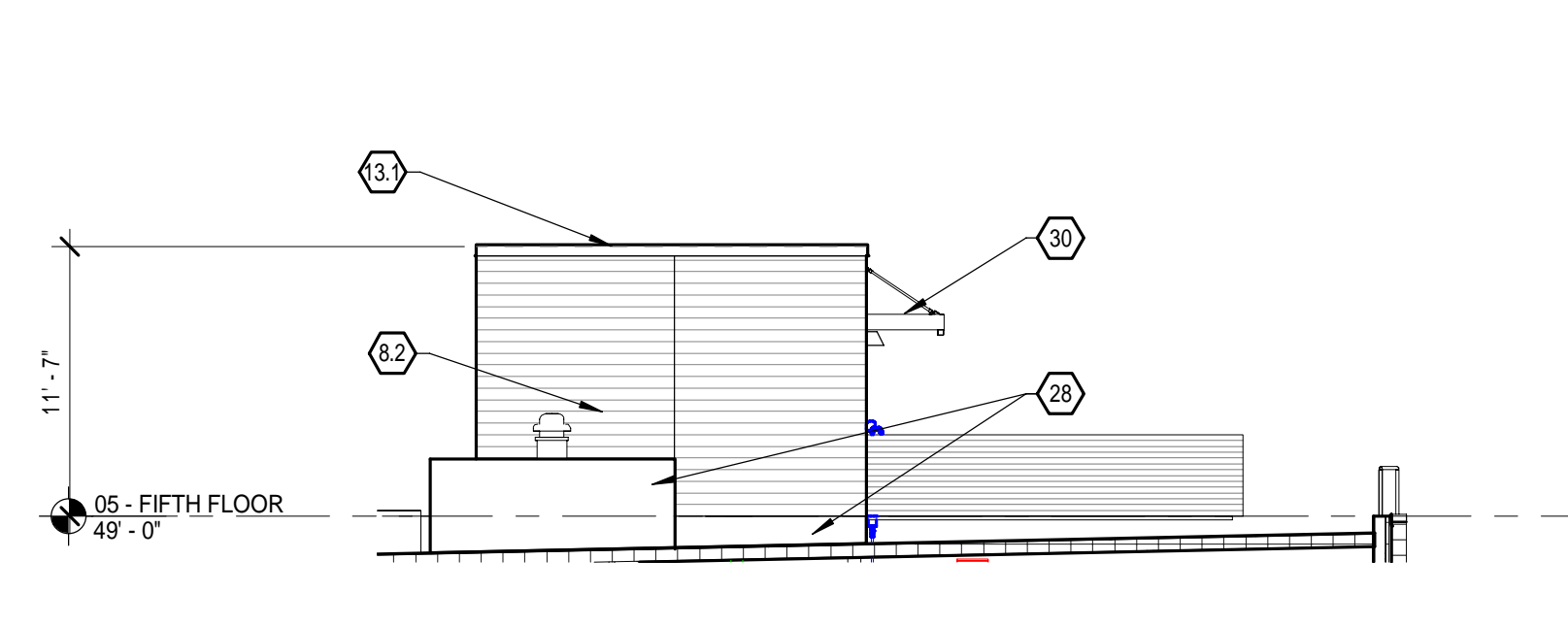
5 PENTHOUSE ELEVATION - EAST
SCALE: 1/8" = 1'-0"



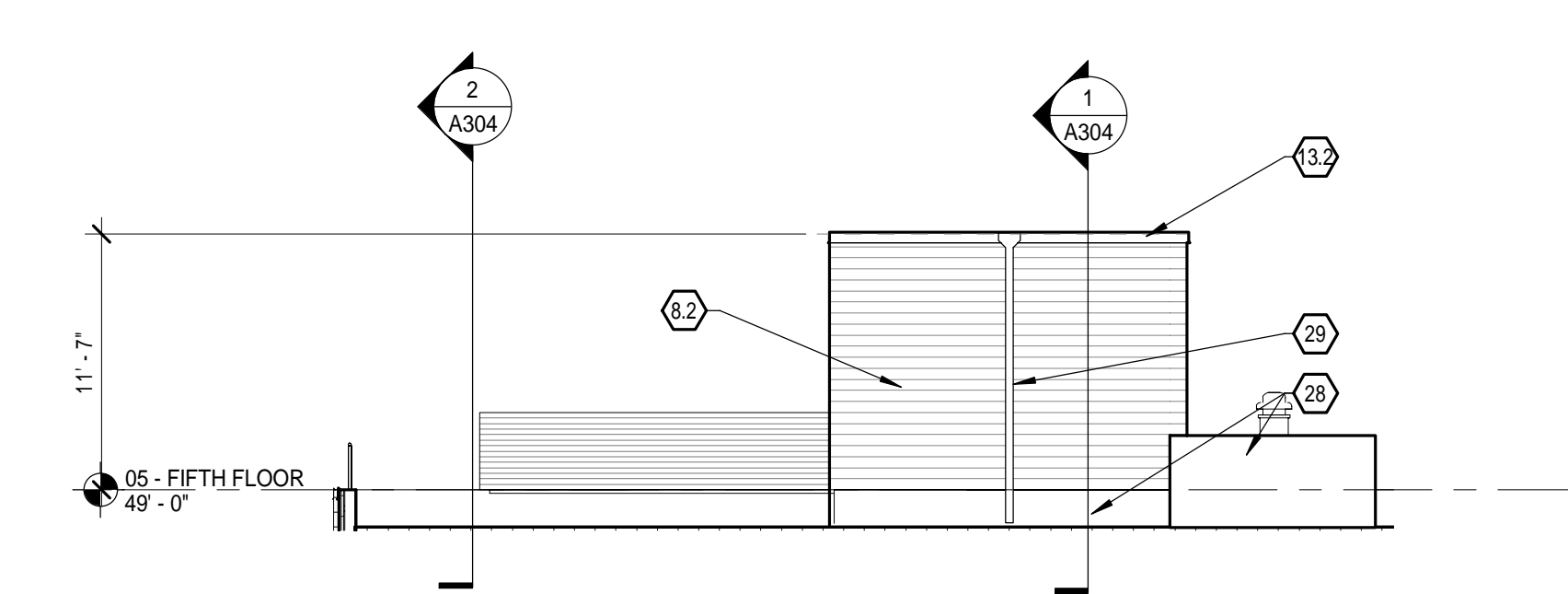
9 PENTHOUSE ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



10 PENTHOUSE ELEVATION - EAST
SCALE: 1/8" = 1'-0"



11 PENTHOUSE ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



12 PENTHOUSE ELEVATION - WEST
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. SEE DRAWING SHEETS A201 & A204 FOR EXTERIOR ELEVATION KEYNOTE LIST.
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KEYNOTES

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1.2 BRICK TYPE 'A', ROW LOCK COURSE	8.1 FIBER CEMENT PANEL (WOOD LOOK)	22.1 PRE-FABRICATED BOLT-ON JULIETTE STYLE BALCONY
1.3 BRICK TYPE 'A', SOLDIER COURSE	8.2 FIBER CEMENT PANEL	22.2 PRE-FABRICATED BOLT-ON FULL-DEPTH BALCONY
2.1 BRICK TYPE 'B', RUNNING BOND	8.3 FIBER CEMENT LAP SIDING (8" LAP)	23 ROOF PLAZA PAVERS ON ADJUSTABLE PEDESTALS.
2.2 BRICK TYPE 'B', ROW LOCK COURSE	9.1 EXTERIOR INSULATION FINISH SYSTEM (E.F.I.S.) w/ REVEALS	24 ROOFTOP PIPE ACCENT RAIL, PAINTED
2.3 BRICK TYPE 'B', SOLDIER COURSE	9.2 EXTERIOR INSULATION FINISH SYSTEM (E.F.I.S.) w/ WALL CAP. SEE SECTIONS FOR PROFILE	25 HOLLOW METAL DOOR & FRAME, PAINTED PER DOOR SCHEDULE
2.4 THIN BRICK, MATCH PLAIN, COLOR & COURSING OF BRICK TYPE 'B'	10 FLUSH METAL PANEL SYSTEM	26 CONTINUOUS FIBER CEMENT TRIM, 6" WIDE.
3.1 BRICK TYPE 'C', RUNNING BOND	11 COMPOSITE METAL PANEL SYSTEM	27 STEP MASONRY LEDGE AS REQUIRED. COORDINATE WITH CIVIL GRADING.
3.2 BRICK TYPE 'C', ROW LOCK COURSE	12.1 VINYL SIDING TYPE 'A' w/ 6" LAP	28 MEMBRANE FLASHING
3.3 BRICK TYPE 'C', SOLDIER COURSE	12.2 VINYL SIDING TYPE 'B' w/ 6" LAP	29 THROUGH WALL SCUPPER & DOWNSPOUT w/ SPLASH BLOCK ON ROOF.
4 BRICK TYPE 'D', RUNNING BOND	13.1 METAL COPING	30 PRE-FABRICATED METAL CANOPY
5 LIMESTONE WALL CAP.	13.2 METAL 'GRAVEL STOP' FASCIA	31 ELECTRICAL EQUIPMENT
6.1 CAST STONE (DARK) PIER, STACKED BOND	14.1 ALUMINUM STOREFRONT SYSTEM w/ INSULATED GLASS	
6.2 LIMESTONE BASE, COLOR & TEXTURE TO MATCH DARK CAST STONE	14.2 ALUMINUM STOREFRONT ENTRANCE SYSTEM PER SCHEDULE	
6.3 CAST STONE (DARK) WITH REVEALS AT EACH MASONRY JOINT	14.3 BREAK METAL CLADDING TO MATCH STOREFRONT FINISH.	
6.4 CONTINUOUS CAST STONE (DARK) ACCENT BAND	15 CAST-IN-PLACE CONCRETE STEPS	
7.1 CAST STONE (LIGHT) PIER, STACKED BOND	16 STAINLESS STEEL HANDRAIL	
7.2 LIMESTONE BASE, COLOR & TEXTURE TO MATCH LIGHT CAST STONE	17 FABRIC AWNING SYSTEM.	
7.3 CAST STONE (LIGHT) WITH REVEALS AT EACH MASONRY JOINT	18 ORNAMENTAL METAL FENCE SYSTEM	
7.4 CONTINUOUS CAST STONE (LIGHT) ACCENT BAND	19 SLIDING FIBERGLASS PATIO DOOR PER SCHEDULE	
	20 FIBERGLASS WINDOW w/ INSULATED GLASS PER SCHEDULE	

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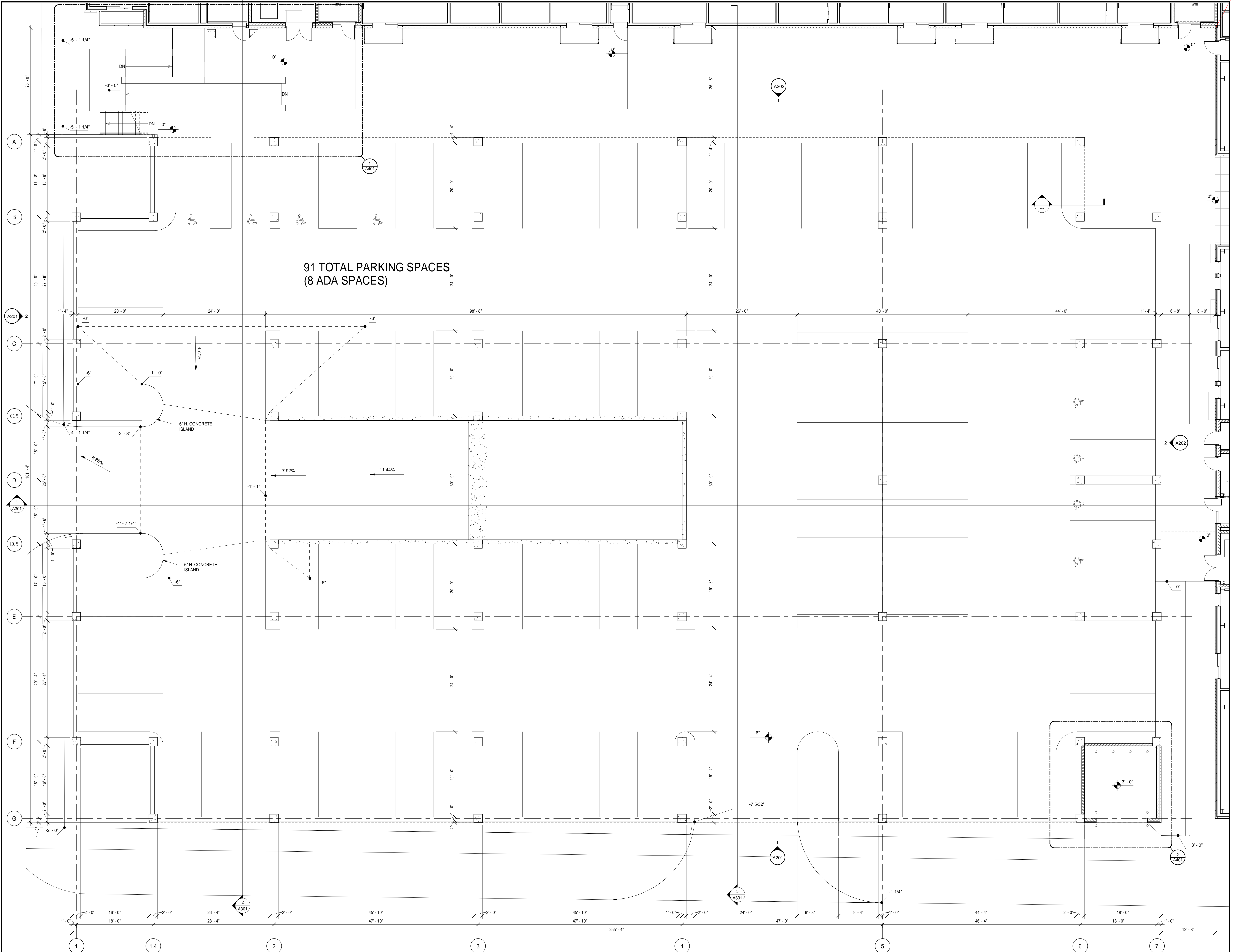
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OKEMOS, MI 48864

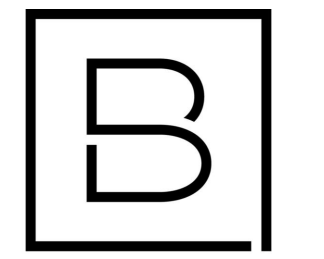
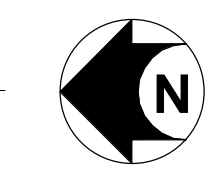
Date Revised	Description
1/31/2022	SITE PLAN APPROVAL
4/1/2022	BIDS & PERMITS

Project Manager	Discipline Lead
T. REDER	T. REDER
Designer	Reviewer
R. KEUNEKE	R. KEUNEKE
Date Issued	Project Number
4/1/2022	15548.00

ARCHIT. 3042



1 FIRST FLOOR PARKING PLAN
 SCALE: 1/8" = 1'-0"



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VILLAGE OF OKEMOS, LLC

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2422 JOLLY ROAD, SUITE 100
 OKEMOS, MI 48864

Date Revised	Description
8/25/2022	MUPUD SUBMITTAL

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Project Manager	Discipline Lead
T. REDER	
Designer	Reviewer

Date Issued	Project Number
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Sheet Name

FIRST FLOOR PLAN

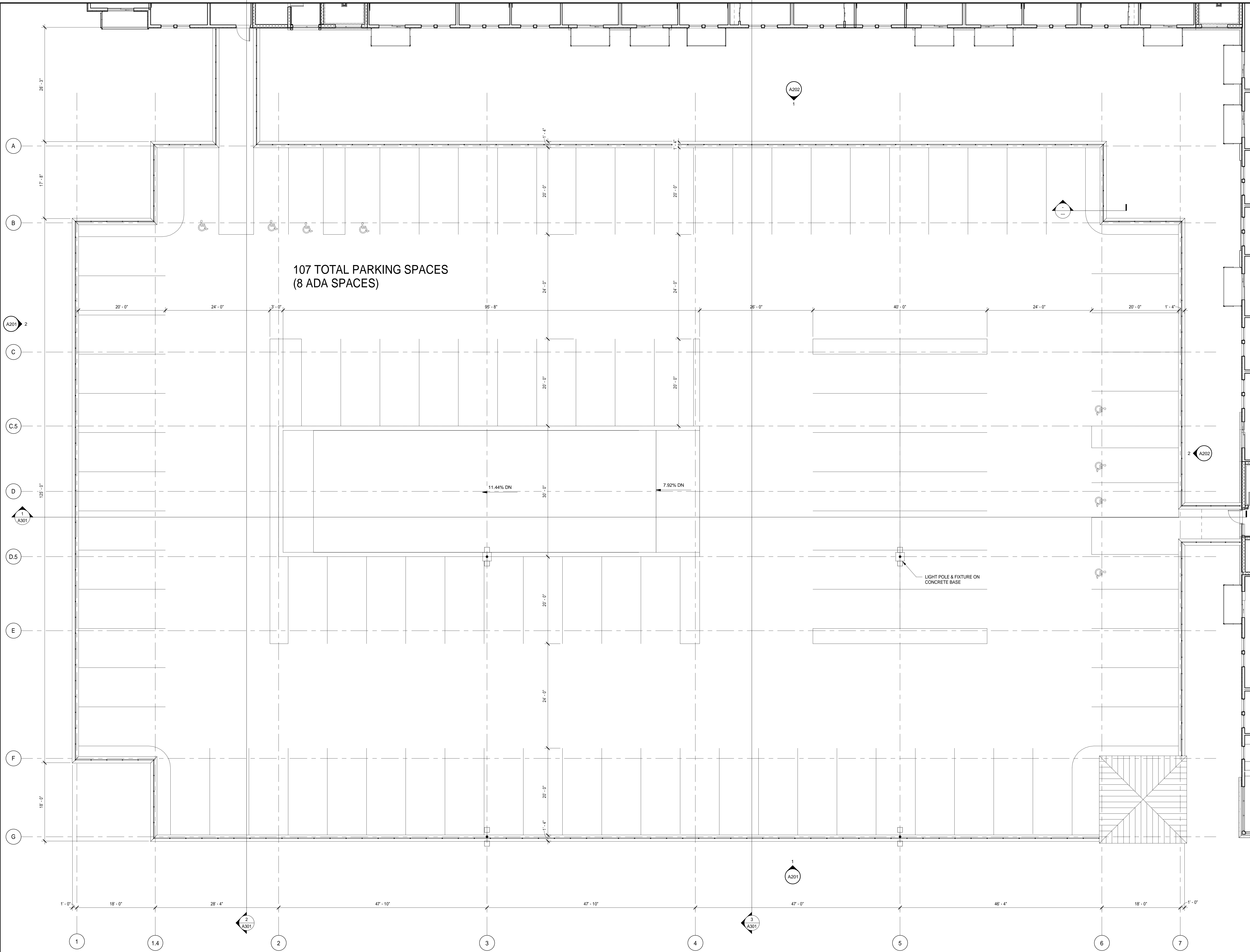
Sheet Number **BLOCK 1 PARKING GARAGE**

A101

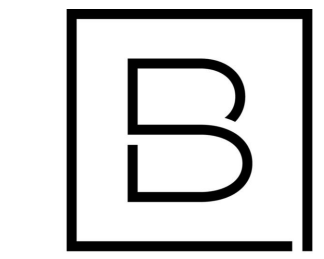
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ARCHIT. 3042

6/30/2022 1:58:44 PM



1 SECOND FLOOR PARKING PLAN
SCALE: 1/8" = 1'-0"



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Project Manager T. REDER	Discipline Lead
Designer	Reviewer

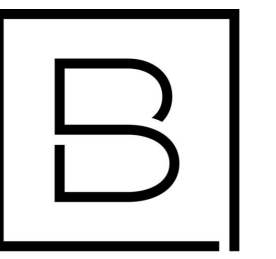
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Sheet Name

SECOND FLOOR PLAN

Sheet Number **BLOCK 1 PARKING GARAGE**

A102



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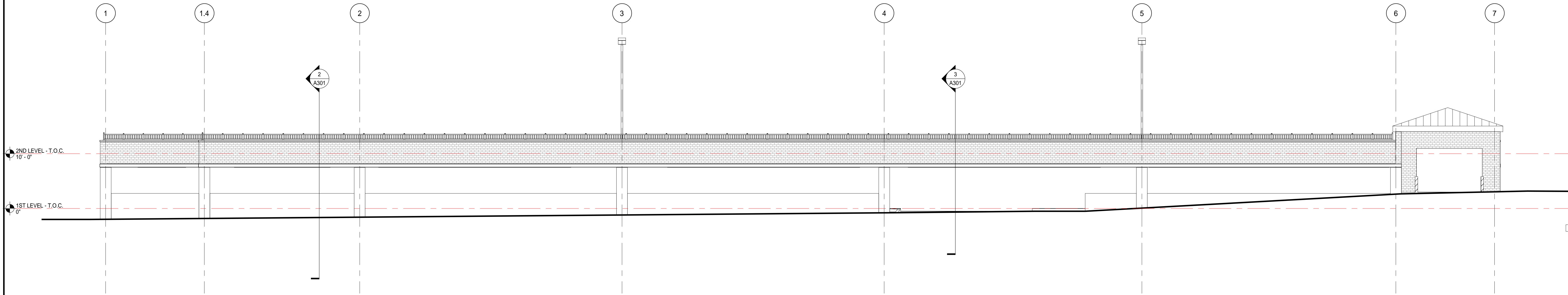
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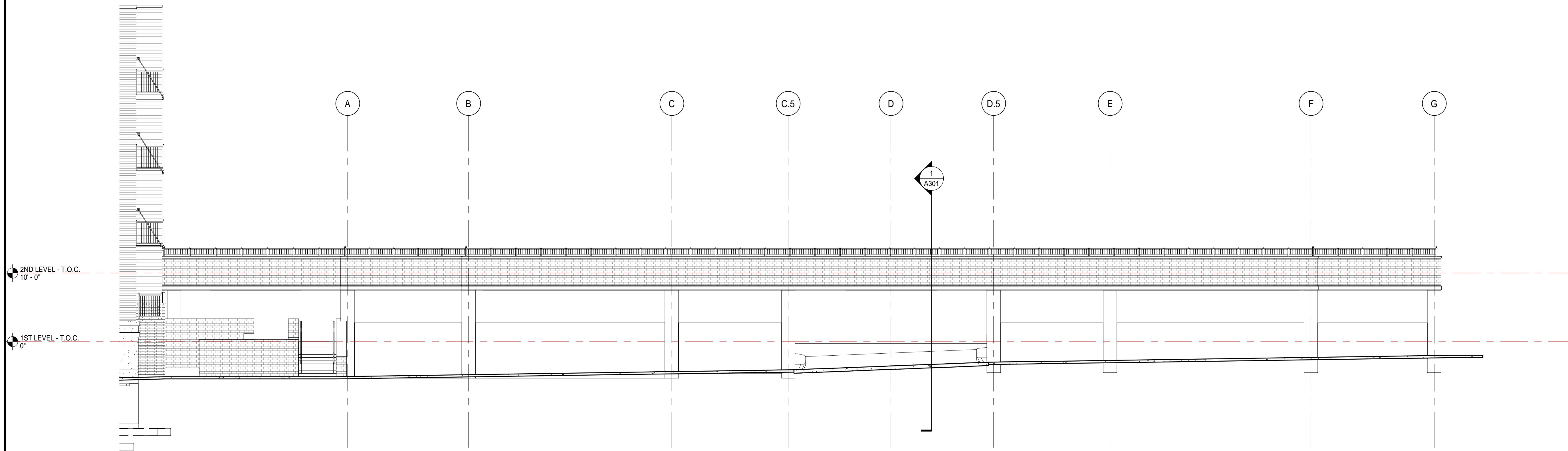
2422 JOLLY ROAD, SUITE 100
OKEMOS, MI 48864

Date Revised	Description
8/25/2022	MUPUD SUBMITTAL



1 EXTERIOR ELEVATION - WEST (ARDMORE AVE.)

SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - NORTH (METHODIST ST.)

SCALE: 1/8" = 1'-0"

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Project Manager	Discipline Lead
T. REDER	
Designer	Reviewer

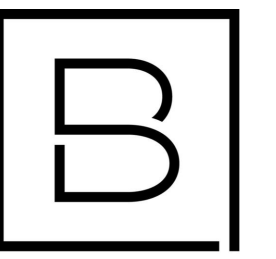
Date Issued	Project Number
6/27/2022	15548.00

Sheet Name

EXTERIOR ELEVATIONS
(WEST & NORTH)

Sheet Number **BLOCK 1 PARKING GARAGE**

A201



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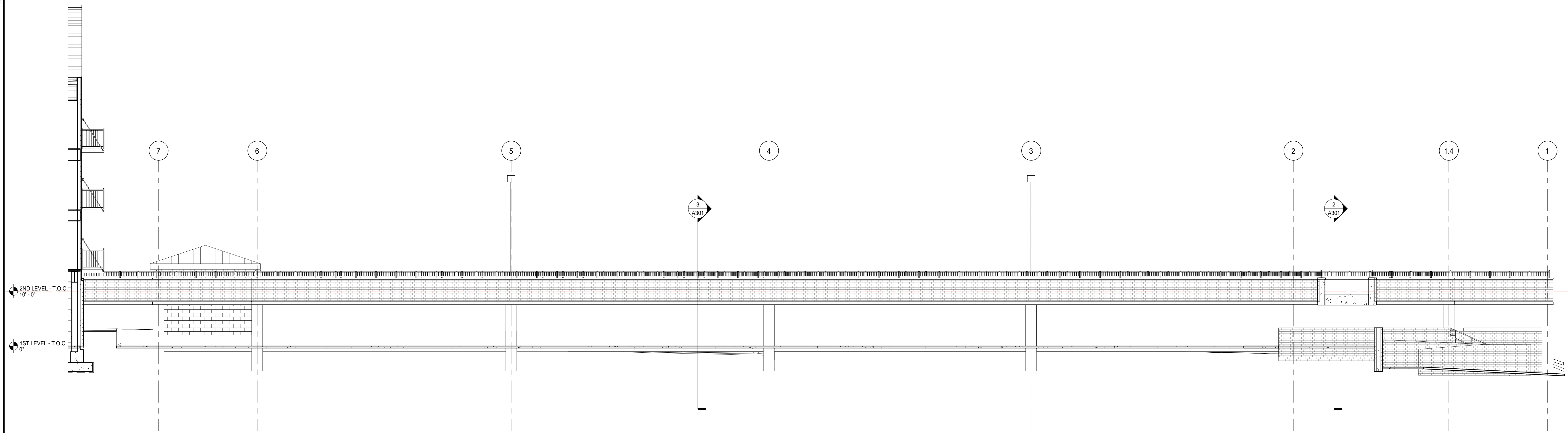
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VILLAGE OF OKEMOS, LLC

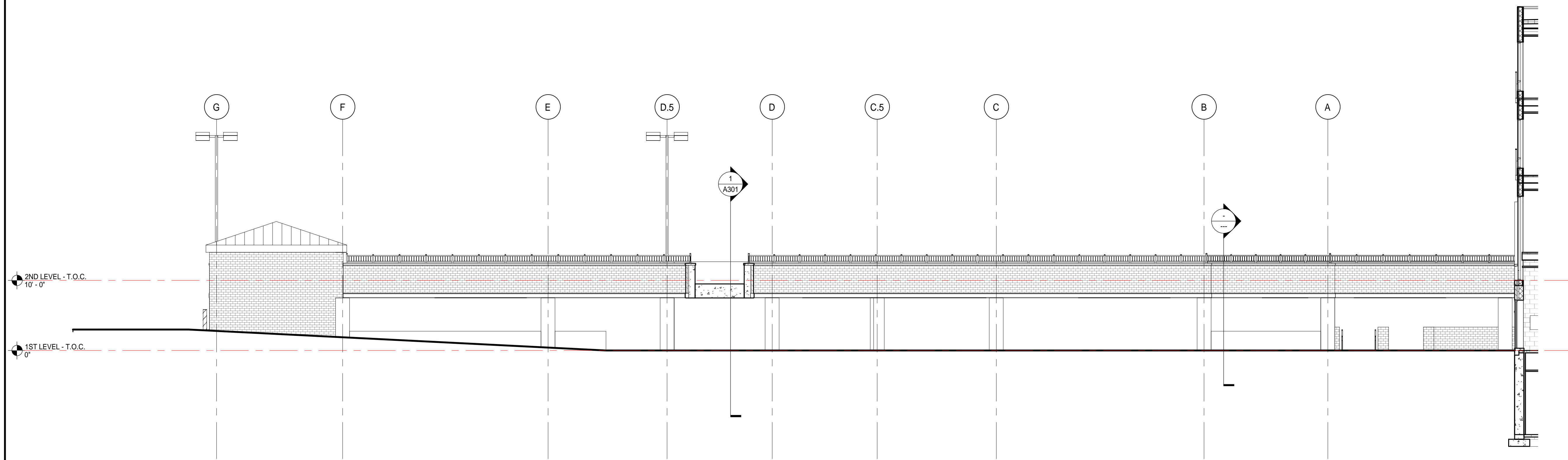
THE VILLAGE OF OKEMOS

2422 JOLLY ROAD, SUITE 100
OKEMOS, MI 48864

Date Revised	Description
8/25/2022	MUPUD SUBMITTAL



1 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

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Project Manager	Discipline Lead
T. REDER	
Designer	Reviewer

Date Issued	Project Number
6/27/2022	15548.00

Sheet Name

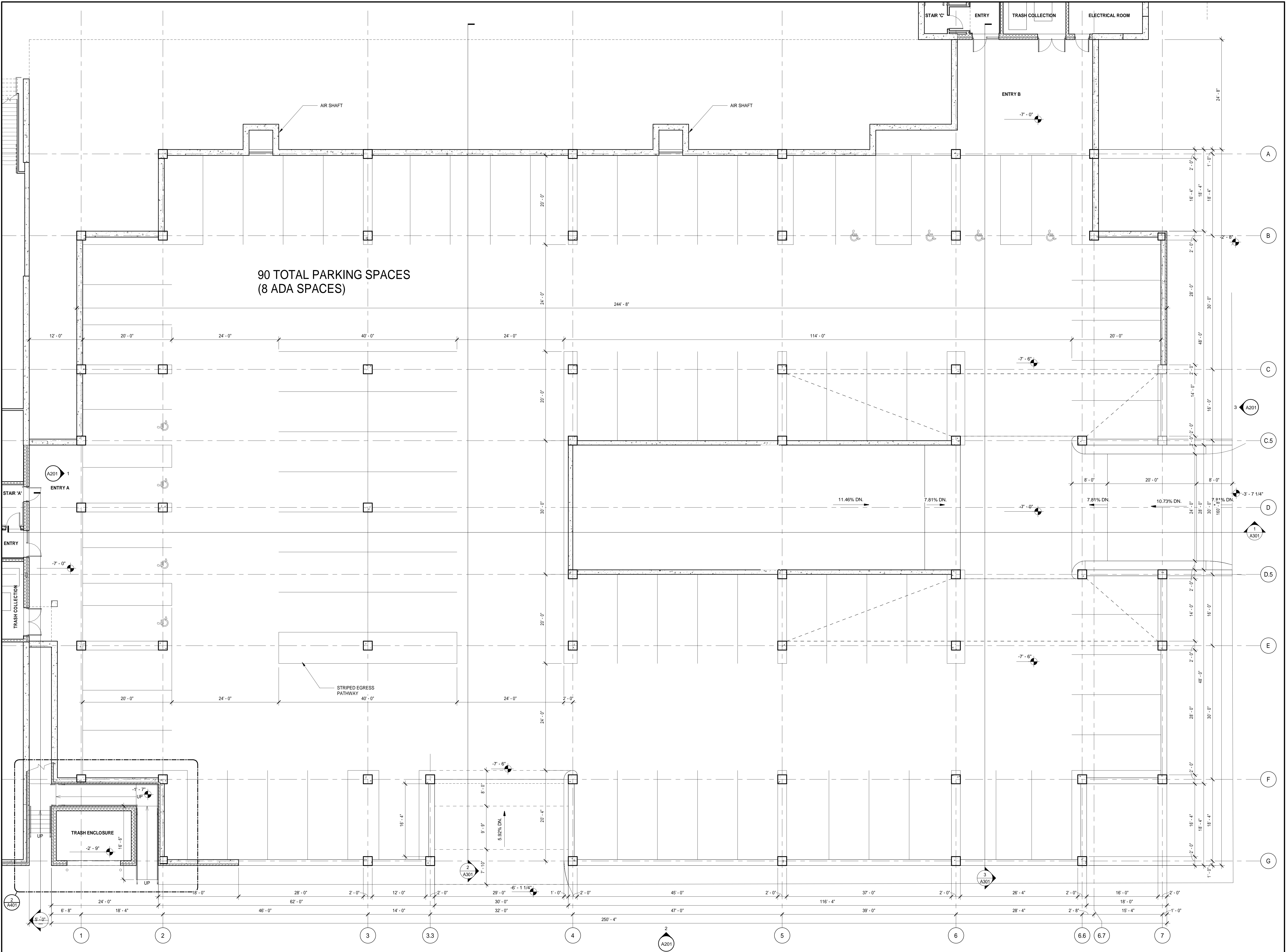
EXTERIOR ELEVATIONS
(EAST & SOUTH)

Sheet Number **BLOCK 1 PARKING GARAGE**

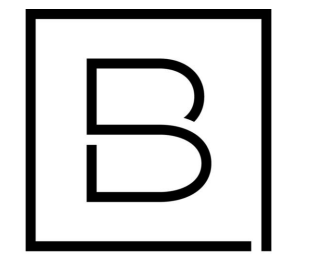
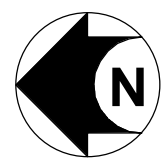
A202

ARCHIT. 3/24/22

8/24/2022 10:23:33 AM



1 LOWER LEVEL PARKING PLAN
 SCALE: 1/8" = 1'-0"



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Date Revised	Description
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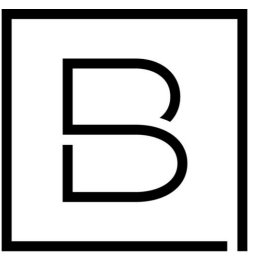
Project Manager	Discipline Lead
T. REDER	T. REDER
Designer	Reviewer
R. KEUNEKE	R. KEUNEKE
Date Issued	Project Number
8/25/2022	15548.00

Sheet Name

LOWER LEVEL PARKING PLAN

Sheet Number **BLOCK 2 PARKING GARAGE**

A100



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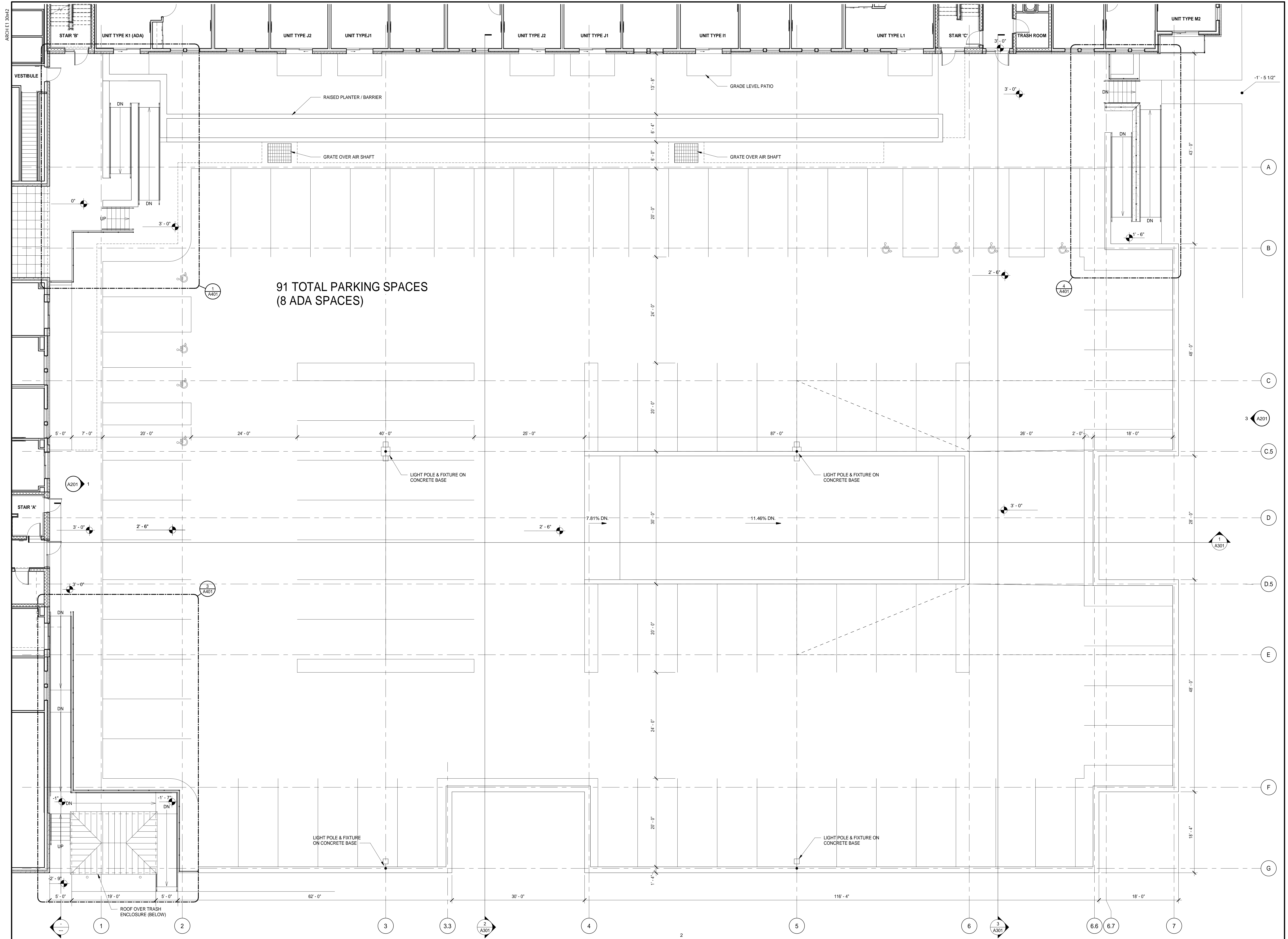
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1 UPPER LEVEL PARKING PLAN
SCALE: 1/8" = 1'-0"

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Designer R. KEUNEKE	Reviewer R. KEUNEKE
Date Issued 8/25/2022	Project Number 15548.00

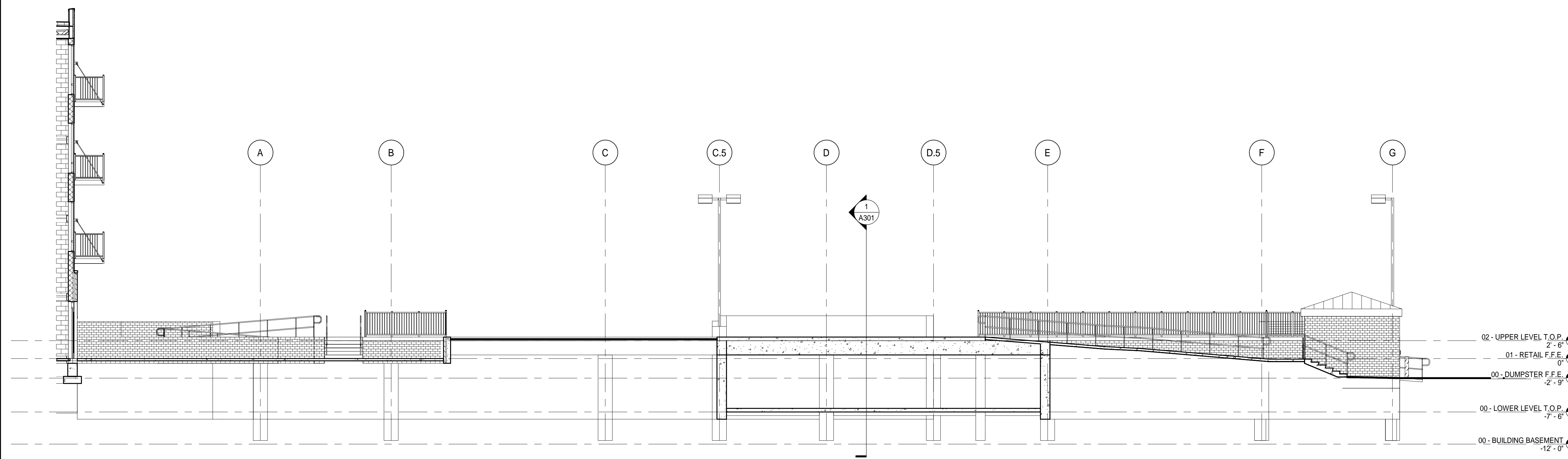
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UPPER LEVEL PARKING PLAN

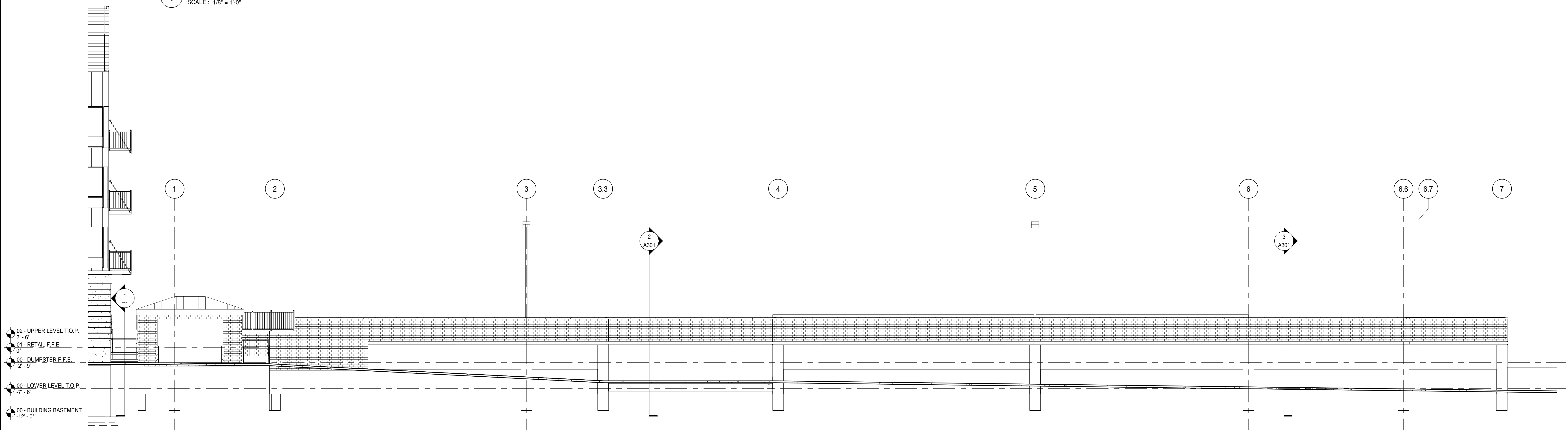
Sheet Number **BLOCK 2 PARKING GARAGE**

A101

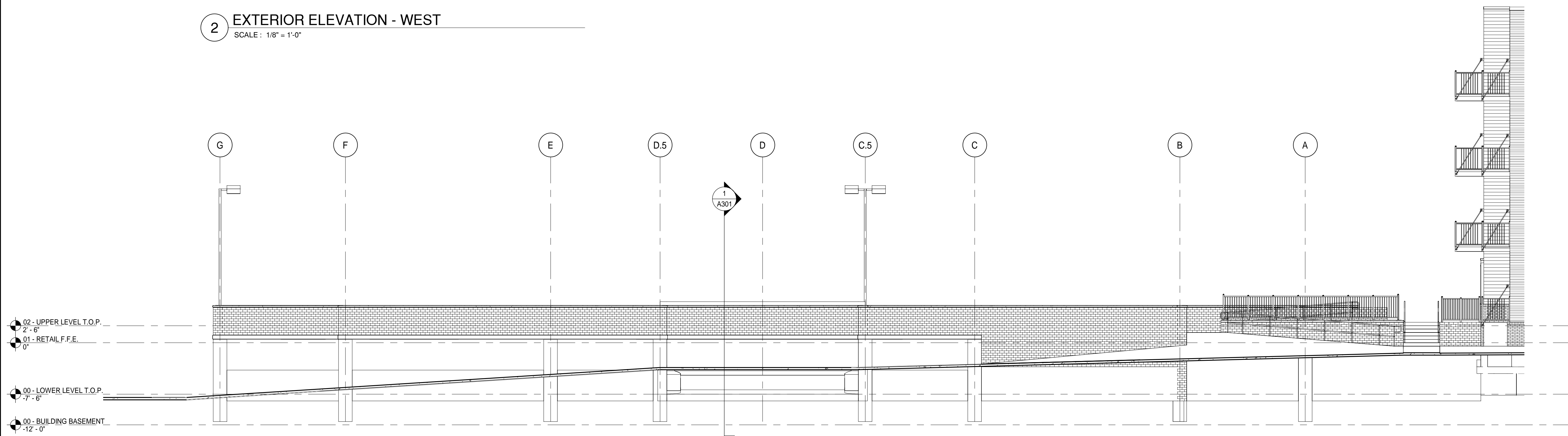
ARCHIT. 3042



1 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

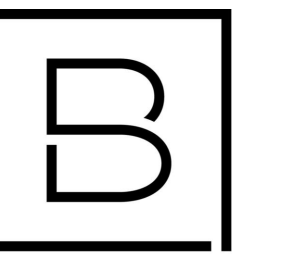


2 EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

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EXTERIOR ELEVATIONS

Sheet Number **BLOCK 2 PARKING GARAGE**

A201