



AGENDA
CHARTER TOWNSHIP OF MERIDIAN
ZONING BOARD OF APPEALS MEETING
JANUARY 10, 2018 6:30 pm



1. CALL MEETING TO ORDER*
2. APPROVAL OF THE AGENDA
3. CORRECTIONS, APPROVAL AND RATIFICATION OF MINUTES
 - A. Wednesday, October 25, 2017
4. COMMUNICATIONS
 - A. Lane & Cheryl McFarland, 6196 Columbia Street, RE: ZBA #17-10-25-1
 - B. Lisa Hansknecht, 6178 Columbia Street, RE: ZBA #17-10-25-1
 - C. Don Winchell, 6203 Columbia Street, RE: ZBA #17-10-25-1
 - D. Catherine Ferguson, 6177 Foster Drive, RE: ZBA #17-10-25-1
5. UNFINISHED BUSINESS
6. NEW BUSINESS

A. ZBA CASE NO. 17-10-25-1 (BARTOW), 6154 WEST LONGVIEW DRIVE, EAST LANSING, MI, 48823

DESCRIPTION: 6200 Columbia Street & a vacant parcel (Tax I.D. #03-403-007)
TAX PARCEL: 03-403-001 & 03-403-007
ZONING DISTRICT: RB (Single Family, High Density), Lake Lansing Overlay

The applicant is requesting to create two new lots that are under the minimum lot width of 65 feet at 6200 Columbia Street and a vacant parcel (Tax I.D. #03-403-007).

B. ZBA CASE NO. 17-12-13-1 (LANSING MART ASSOCIATES, LLC), 31500 NORTHWESTERN HIGHWAY SUITE 100, FARMINGTON HILLS, MI, 48334

DESCRIPTION: 2020 West Grand River Avenue
TAX PARCEL: 21-226-008
ZONING DISTRICT: C-3 (Commercial)

The applicant is requesting to increase the height of the front façade of a nonconforming building at 2020 West Grand River Avenue.

C. ZBA CASE NO. 18-01-10-1 (BRIAN CARLIN), 1593 MAIDEN LANE, OKEMOS, MI, 48864

DESCRIPTION: 1841 Newman Road
TAX PARCEL: 02-177-006
ZONING DISTRICT: C-2 (Commercial)

The applicant is requesting to add a 116 square foot addition to the front façade of a nonconforming building at 1841 Newman Road.

7. OTHER BUSINESS
8. PUBLIC REMARKS
9. BOARD MEMBER COMMENTS
10. ADJOURNMENT
11. POSTSCRIPT – Brian Beauchine

Variance requests may be subject to change or alteration upon review of request during preparation of the staff memorandum. Therefore, Sections of the Code of Ordinances are subject to change. Changes will be noted during public hearing meeting.

Individuals with disabilities requiring auxiliary aids or services should contact the Meridian Township Board by contacting: Township Manager Frank L. Walsh, 5151 Marsh Road, Okemos, MI 48864 or 517.853.4258 - Ten Day Notice is Required.
Meeting Location: 5151 Marsh Road, Okemos, MI 48864 Township Hall

Providing a safe and welcoming, sustainable, prime community.



A PRIME COMMUNITY
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**CHARTER TOWNSHIP OF MERIDIAN
ZONING BOARD OF APPEALS MEETING MINUTES ***DRAFT***
5151 MARSH ROAD, OKEMOS MI 48864-1198
517.853.4000
WEDNESDAY, October 25, 2017**

PRESENT: Members Ohlogge, Stivers, Jackson, Chair Beauchine
ABSENT: Member Lane
STAFF: Mark Kieselbach, Community Planning and Development Director
and Keith Chapman, Assistant Planner

A. CALL MEETING TO ORDER

Chair Beauchine called the meeting to order at 6:30 p.m.

B. APPROVAL OF AGENDA

MEMBER JACKSON MOVED TO APPROVE THE AGENDA WITH AN AMENDMENT TO ITEM 7
OTHER BUSINESS TO ADD TRAINING SESSION FOR ZONING BOARD OF APPEALS (ZBA), AND
THE 2018 ZBA MEETING SCHEDULE.

SECONDED BY MEMBER STIVERS.

VOICE VOTE: Motion carried unanimously.

C. CORRECTIONS, APPROVAL & RATIFICATION OF MINUTES

Wednesday, October 11, 2017

MEMBER OHROGGLE MOVED TO APPROVE THE MINUTES OF WEDNESDAY October 11, 2017
AS WRITTEN.

SECONDED BY MEMBER STIVERS.

VOICE VOTE: Motion carried unanimously.

D. COMMUNICATIONS

Chair Beauchine replied communications would be addressed after Assistant Planner Chapman
outlined the case.

E. UNFINISHED BUSINESS

None.

F. NEW BUSINESS

1. ZBA CASE NO. 17-10-25-1 (BARTOW),
6154 WEST LONGVIEW DRIVE, EAST LANSING, MI 48864
DESCRIPTION: 6200 Columbia Street
TAX PARCEL: 03-403-001
ZONING DISTRICT: RB (Single Family, High Density). Lake Lansing Residential
Overlay District

The applicant is requesting a variance from the following sections of the Code of Ordinances:

Section 86-374 (d)(1), Minimum lot area: 8,000 square feet. No lot shall hereafter be sub-divided to provide less than 8,000 square feet of lot area.

Section 86-374 (d)(2), Minimum interior lot width less than 65 feet.

The applicant is requesting to create two new lots that are less than the minimum lot area of 8,000 square feet and the minimum lot width of 65 feet.

Assistant Planner Chapman outlined the case for discussion. He referenced an error in the staff report which indicated the width of lots 12 and 13 totaled 77.94 feet on Columbia Street but should have been are 79 feet. He added there were 3 communications in favor and 2 communications in opposition to variance request.

Chair Beauchine asked the applicant or the applicant's representative if they would like to address the Zoning Board of Appeals (ZBA).

Mr. Bartow, the applicant replied no.

Chair Beauchine opened the floor for public comments.

Don Winchell, 6203 Columbia Street, Haslett, read the letter dated October 16, 2017 which he had previously submitted. He asked the ZBA not to approve the variances due to safety issues on Columbia Street.

Lisa Hansknecht 6178 Columbia Street, Haslett, stated she opposed the variances due to larger construction on narrower lots. She added the increase of short terms rentals creates a transient population. She stated her concern was safety issues on Columbia Street.

Catherine Ferguson, 6177 Foster Drive, Haslett, referenced her letter dated October 24, 2017 objecting to the variances. She added there was little green space along Columbia Street.

Ann Whitmer, 6190 Columbia Street, Haslett, stated her main concern was parking on the street and safety issues involving traffic and walkers. She added a structure larger than two stories impinges on her view of the lake.

Karen Reiff, 6174 Columbia Street, Haslett, stated her main concern was safety on Columbia Street. She added Columbia Street is narrow and with the curve there is low visibility for oncoming traffic.

Tony Schmidt, 6200 W Reynolds, Haslett, stated the variances would not enhance the area in the vicinity of the property and with 3 new docks for each lot would affect fishing in that area of the lake. He preferred the construction of 2 houses that did not tower over other houses in the area.

Chair Beauchine referenced a letter dated October 23, 2017 from the Ingham County Land Bank that recommended the split.

Chair Beauchine asked the applicant or the applicant's representative if they had anything to add.

Jim Bartow, 6151 Park Lake Road, East Lansing, stated the variances would not impact the current road or safety issues. The construction will be built according to Township requirements.

Chair Beauchine closed public remarks.

Chair Beauchine stated the Lake Lansing Overlay District was created to bring some relief to property owners. He read review criteria seven from (Section 86-221) of the Zoning Ordinance, which states the conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable. He stated he preferred the current Lake Lansing Overlay District and had no interest in re-verting back to the original zoning. He added he is not in favor of the variances.

Member Stivers replied Mr. Bartow made a good point addressing the use of the property in terms of what might be constructed, along with safety issues and the hypothetically height of the structures. However, she did not see any reason to approve the variances. She read review criteria one, which states unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district. She stated there were no unique or special circumstances.

Member Jackson agreed and doesn't see any value in approving the variances when one property satisfies the current ordinances.

Member Ohlrogge questioned Mr. Bartow's statement the land division would create revenue for the Township. The ZBA is considering the unique circumstances that exist which are peculiar to the land or structure.

Chair Beauchine replied Mr. Bartow did not submit his reasons based on the review criteria however, the ZBA is not allowed to consider revenue.

Member Jackson stated how the land would be used if the variances were granted is important because the new lots may require variances. She read review criteria two, which states these special circumstances are not self-created, and at this point we have self-created circumstances which are created by the ZBA, who granted the first variance, which puts the ZBA in a situation which does not support the zoning criteria.

MEMBER STIVERS MOVED TO DENY THE VARIANCE BASED ON FAILURE TO MEET REVIEW CRITERIA ONE FROM (SECTION 86-221) OF THE ZONING ORDINANCE.

SECONDED BY MEMBER JACKSON, BASED ALSO ON FAILURE TO MEET REVIEW CRITERIA THREE FROM (SECTION 86-221) OF THE ZONING ORDINANCE.

Member Ohlrogge recommended the ZBA review the criteria from (Section 86-221) of the Zoning Ordinance. She read review criteria four, which states the alleged practical difficulties which will result from a failure to grant the variance would unreasonably prevent the owner from using the property for a permitted purpose. She stated there was no need to divide the lots to use the property for a permitted purpose.

Member Ohlrogge read review criteria five, which states granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice. She added the minimum action would be to leave the subject property as it currently exists.

Member Ohlrogge read review criteria six, which states granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property. She replied construction on narrow lots would affect adjacent land and the character of the neighborhood in the vicinity.

Member Ohlrogge read review criteria seven, which states the conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable. She added the creation of the Lake Lansing Overlay District addresses this question.

Member Ohlrogge read review criteria seven, which states granting the variance will be generally consistent with public interest and the purposes and intent of this Chapter. She replied she could not determine how variances would be consistent with public interest.

ROLL CALL VOTE: YES: Members, Ohlrogge, Stivers, Jackson and Chair Beauchine.

NO:

Motion carried unanimously.

G. OTHER BUSINESS

1. Chair Beauchine presented the proposed ZBA meeting schedule for 2018.

MEMBER JACKSON MOVED TO ADOPT THE RESOLUTION FOR THE 2018 MEETING SCHEDULE

SECONDED BY MEMBER OHLROGGE

VOICE VOTE: Motion carried unanimously.

2. Chair Beauchine addressed training for the ZBA and asked Director Kieselbach about the items for the training.

Director Kieselbach stated the training would be on specific questions from the ZBA.

Member Ohlrogge suggested the ZBA take time to comply questions for the Township Attorney and recommended advanced notice on training dates.

Chair Beauchine asked if the ZBA would prefer taking until November 15th to comply questions for the Township Attorney which would help expedite the process for training.

Member Jackson referenced the training from Michigan Township Association (MTA) and the Michigan Municipal League (MML) newer members and the alternate members may be interested in participating in those trainings. She commented the opportunity for training should be made known to all members of the ZBA, and recommended attending the basic training offered through the various organizations.

Chair Beauchine recommended the ZBA target November 15th to have their questions for training to staff.

H. PUBLIC REMARKS

Chair Beauchine opened the floor for public remarks, seeing none, closed public remarks.

I. BOARD MEMBER COMMENTS

None.

J. ADJOURNMENT

Chair Beauchine adjourned the meeting at 7:29 p.m.

K. POST SCRIPT – Member Stivers

Respectfully Submitted,

Rebekah Kelly
Recording Secretary

November 28, 2017

Meridian Township
Zoning Board of Appeals

Public Hearing for Wednesday, December 13, 2017

Re: #17-10-25-1 (Bartow)
6200 Columbia Street & Vacant Parcel (Tax I.D. #03-403-007)

To whom it may concern:

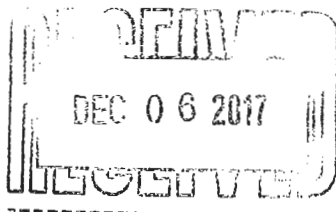
My wife and I, Lane & Cheryl McFarland, have lived on the adjacent property at 6196 Columbia for over thirty years. We believe that to create two equally size lots on the property at 6200 Columbia Street and Vacant Parcel would be beneficial to both the buyers and the Board of Appeals. This would give adequate room to build 2 homes without the need for variances and would provide more room for driveways and make it safer for traffic coming and going on Columbia Street.

We approve this request for variance submitted to the Zoning Board of Appeals by James Bartow.

Sincerely,

Lane & Cheryl McFarland

Cheryl McFarland
Jane McFarland



Keith Chapman

From: Lisa Hansknecht <lisa.hansknecht@gmail.com>
Sent: Friday, December 01, 2017 6:06 PM
To: Keith Chapman
Subject: 6200 Columbia Street #17-10-25-1

Keith Chapman, Assistant Planner
Meridian Township
Zoning Board of Appeals

Mr. Chapman:

Recently, I came and spoke before the Zoning Board of Appeals hearing in opposition to a request to divide the lots at 6200 Columbia into 3 lots. It is my understanding that after denial of that request, the owner has requested that the lots be divided equally into two lots of relative equal size.

I support that request and feel that is a reasonable accommodation to make the property more usable for two homes. As I cannot make it in for the next hearing on this, I wanted to be sure you had this for the record.

Thank you for your work.

Best,
Lisa M. Hansknecht
6178 Columbia
Haslett, MI 48840

11 DECEMBER 2017

MERIDIAN TOWNSHIP ZONING BOARD.

FOR WHAT IT'S WORTH, I DON'T HAVE ANY PROBLEM WITH RIGBY'S OLD PROPERTY AT 6200 COLUMBIA STREET BEING DIVIDED INTO TWO EQUAL LOTS.

OF COURSE ONE LARGE HOUSE BEING BUILT THERE WOULD BE IDEAL, BUT THATS NOT REALISTIC.

THIS DOESN'T HAVE ANYTHING TO DO WITH THIS REQUEST, BUT I WOULD HOPE THAT LATER YOU WON'T LET THEM BUILD HOUSES AS TALL AS THE HOUSES AT 6052, 6054 AND 6056 COLUMBIA STREET, ON THIS PROPERTY.

SINCERELY,

Don Winchell

DON WINCHELL
6203 COLUMBIA ST.

Keith Chapman

From: Catherine Ferguson <catherin Ferguson@gmail.com>
Sent: Tuesday, December 12, 2017 12:06 AM
To: Keith Chapman
Subject: ZBA 17-10-25-1 (Bartow 6200 Columbia Street) REVISED

TO: Meridian Township Zoning Board of Appeals
FROM: Catherine Ferguson, 6177 Foster Drive, Haslett, Michigan
SUBJECT: ZBA #17-10-25-1

I urge you to DENY Mr. Bartow's request to create two new lots that are under the minimum lot width of 65 feet at 6200 Columbia (Tax ID #03-403-007). His previous request was denied by the Zoning Board and opposed by a number of neighbors at the 10-25-17 meeting. Many of the issues remain the same with this new request.

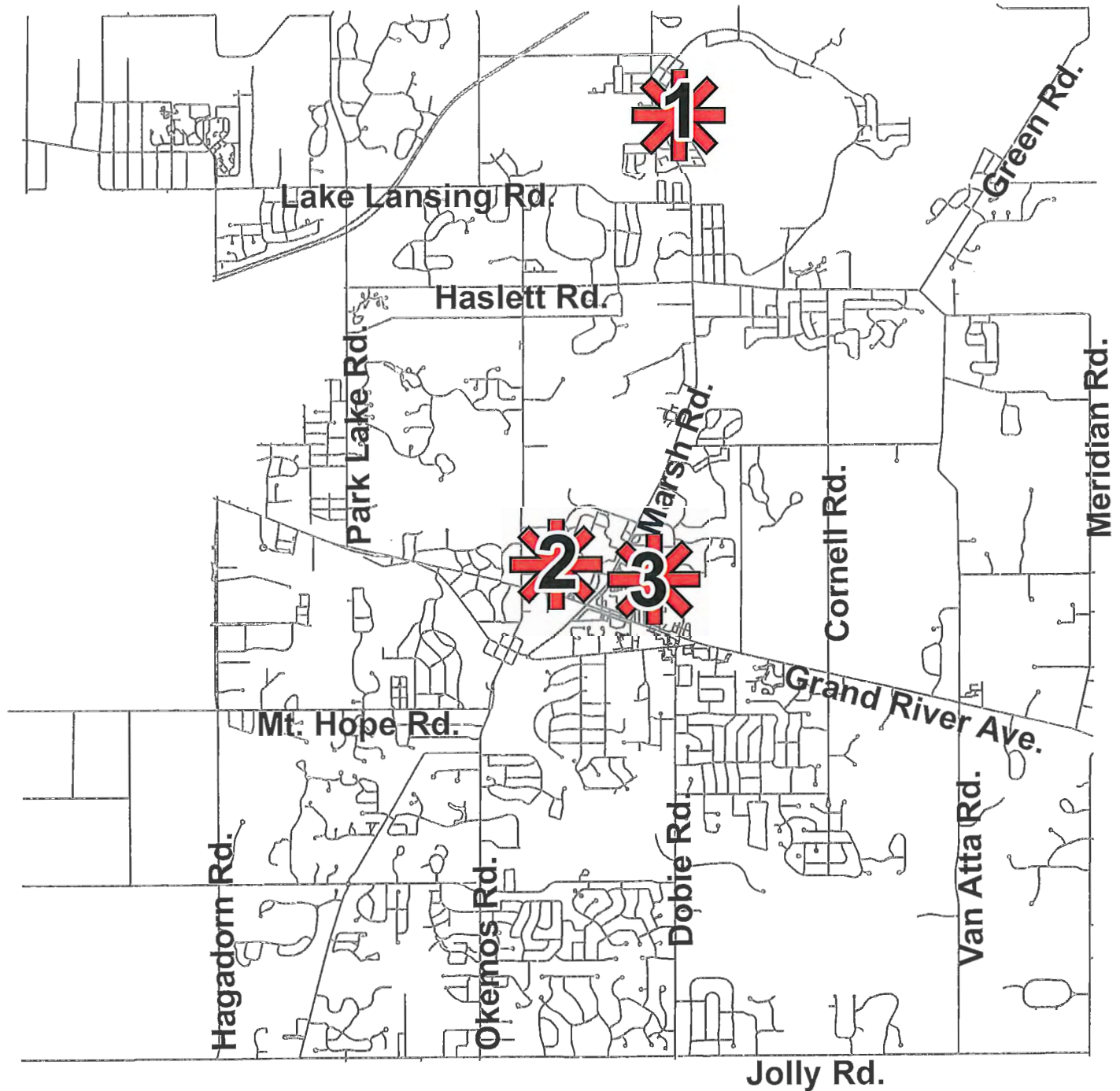
1. The proposed property split still creates properties that do not meet minimum lot width. If this request was granted, the Zoning Board will be responsible for creating the need for future variances. These will inevitably occur when the new property owners attempt to build on the non-conforming lots including variances for minimum lot area, minimum interior lot width, maximum lot coverage, and front, side and rear yard set backs.
2. In the 1970's, at the request of the previous owners, the Zoning Board "created and recorded" the combining of Lots 12 and 13. It is questionable if the current Zoning Board can undo this decision.
3. The proposed property split will still not meet the requirements to utilize the more lenient set back requirements of the Lake Lansing Overlay which are only applicable to properties created and recorded prior to 1960.

Lastly, many of the concerns raised by neighbors at the prior meeting remain the same including: safety for pedestrians and bicyclists; guest parking; significant reduction of green space and lake views; and, compatibility with the adjacent single story lakefront homes.

Thanks for your consideration of my concerns,

Catherine Ferguson
6177 Foster Drive
Haslett, Michigan 48840

Meridian Township



Location Map

1. ZBA #17-10-25-1 (Bartow)
2. ZBA #17-12-13-1 (Lansing Mart Associates LLC)
3. ZBA #17-01-10-1 (Carlin)





To: Zoning Board of Appeals
From: Keith Chapman, Assistant Planner
Date: December 8, 2017
Re: ZBA Case No. 17-10-25-1 (Bartow)

ZBA CASE NO.: 17-10-25-1 (Bartow), 6200 Columbia Drive & Vacant Parcel (Tax I.D. #03-403-007), Haslett, MI 48840
DESCRIPTION: 6200 Columbia Street & Vacant Parcel (Tax I.D. #03-403-007)
TAX PARCEL: 03-403-001 & 03-403-007
ZONING DISTRICT: RB (Single Family, High Density), Lake Lansing Residential Overlay District

The applicant is requesting the Zoning Board of Appeals (ZBA) to rehear a previously denied variance in accordance with the following section of the Code of Ordinances:

- Section 86-225 – No application, which has been denied wholly or in part by the Zoning Board of Appeals, shall be resubmitted until the expiration of one year or more from the date of such denial, except on grounds of newly discovered evidence or proof of changed circumstances found by the Zoning Board of Appeals to be sufficient to justify consideration.

The previous request was to create two new parcels that are under the minimum lot area of 8,000 square feet and the minimum lot width of 65 feet at 6200 Columbia Street. A motion is needed in order to rehear the case. If the ZBA decides to rehear the case then the request is a variance from the following section of the Code of Ordinances:

- Section 86-374 (d)(2), Minimum interior lot width. 65 feet.

James Bartow, the applicant, has now requested a variance to reconfigure the lot widths of two parcels that are under the minimum lot width of 65 feet at 6200 Columbia Street and a vacant parcel (Tax I.D. #03-403-007). The approximate 0.559 acre site is zoned RB (Single Family, High Density) and is located in the Lake Lansing Overlay District.

The submitted survey shows lots 11, 12, and 13 of Lakebrook #1 subdivision, which was platted in 1930. Lots 12 and 13 are combined into one 15,218 square foot lot with a lot width of 79 feet on Columbia Street. A 1,500 square foot single family home on the lot was recently demolished. The proposal is to create two new lots, which would have 58.09 feet and 57.81 feet of lot width. The applicant is requesting variances of 6.91 feet and 7.19 feet.

Zoning Board of Appeals
December 13, 2017
RE: ZBA Case No. 17-10-25-1 (Bartow)
Page 2

The Lake Lansing Residential Overlay District, states interior lot width shall be consistent with the requirements of the underlying zoning district, except lots that were created and recorded prior to October 5, 1960, may be used for single-family residential purposes provided the lot is not less

than 35 feet in width at the street line and the minimum yard setbacks are maintained for the district where the lot is located. Lots 12 and 13 were combined in the 1970's, which removed their status as lots of record and are no longer eligible for the reduction in lot width. Lot 11 is shown in its original platted formation.

Site History

- Township Assessing Department records indicate that the single family home was constructed in 1940.
- In 1975, two variances were requested. The first was from the 10 foot separation between a principal structure and an accessory building and the second that no accessory building shall project into the front yard. Both variances were granted, allowing the accessory building to be 8 feet from the principal structure and for the accessory building to project 6 feet into the front yard.

Attachments

1. Application materials
2. Site location map

G:\COMMUN PLNG & DEV\PLNG\ZBA\2017 ZBA\ZBA 17-12-13\ZBA 17-10-25-1 (Bartow)\STAFF REPORT BARTOW

VARIANCE APPLICATION SUPPLEMENT

A variance will be granted, if the following Review Criteria are met:

1. Unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.
2. These special circumstances are not self-created.
3. Strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties.
4. That the alleged practical difficulties which will result from a failure to grant the variance would unreasonably prevent the owner from using the property for a permitted purpose.
5. Granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.
6. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.
7. The conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.
8. Granting the variance will be generally consistent with public interest and the purposes and intent of this Chapter.

CHARTER TOWNSHIP OF MERIDIAN
PLANNING DIVISION
5151 MARSH ROAD, OKEMOS, MI 48864
(517) 853-4560

VARIANCE APPLICATION

- A. Applicant James M. Bartow
Address of Applicant 6151 PARK LAKE DR
9-LAN. 48823
Telephone (Work) 664-1544 Telephone (Home) 231-7128 E1
Fax _____ Email address: J.BARTOW1962@GMAIL.COM
Interest in property (circle one): Owner Tenant Option Other
- B. Site address/location 6200 COLUMBIA ST.
Zoning district _____ Parcel number _____
- C. Nature of request (Please check all that apply):
 Request for variance(s)
 Request for interpretation of provision(s) of the "Zoning Ordinance" of the Code of Ordinances
 Review an order, requirements, decision, or a determination of a Township official charged with interpreting or enforcing the provisions of the "Zoning Ordinance" of the Code of Ordinances

Zoning Ordinance section(s) _____

- D. Required Supporting Material Supporting Material if Applicable
-Property survey -Architectural sketches
-Legal description -Other
-Proof of property ownership or approval letter from owner
-Site plan to scale
-Written statement, which demonstrates how all the review criteria will be met (See next page)

James M. Bartow _____ 11/2/17
Signature of Applicant Print Name Date

Fee: _____ Received by/Date: _____

I (we) hereby grant permission for members of the Charter Township of Meridian Zoning Board of Appeals, Township staff members and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purposes of gathering information including but not limited to the taking and the use of photographs. (Note to Applicant(s): This is optional and will not affect any decision on your application.)

Signature of Applicant(s) Date

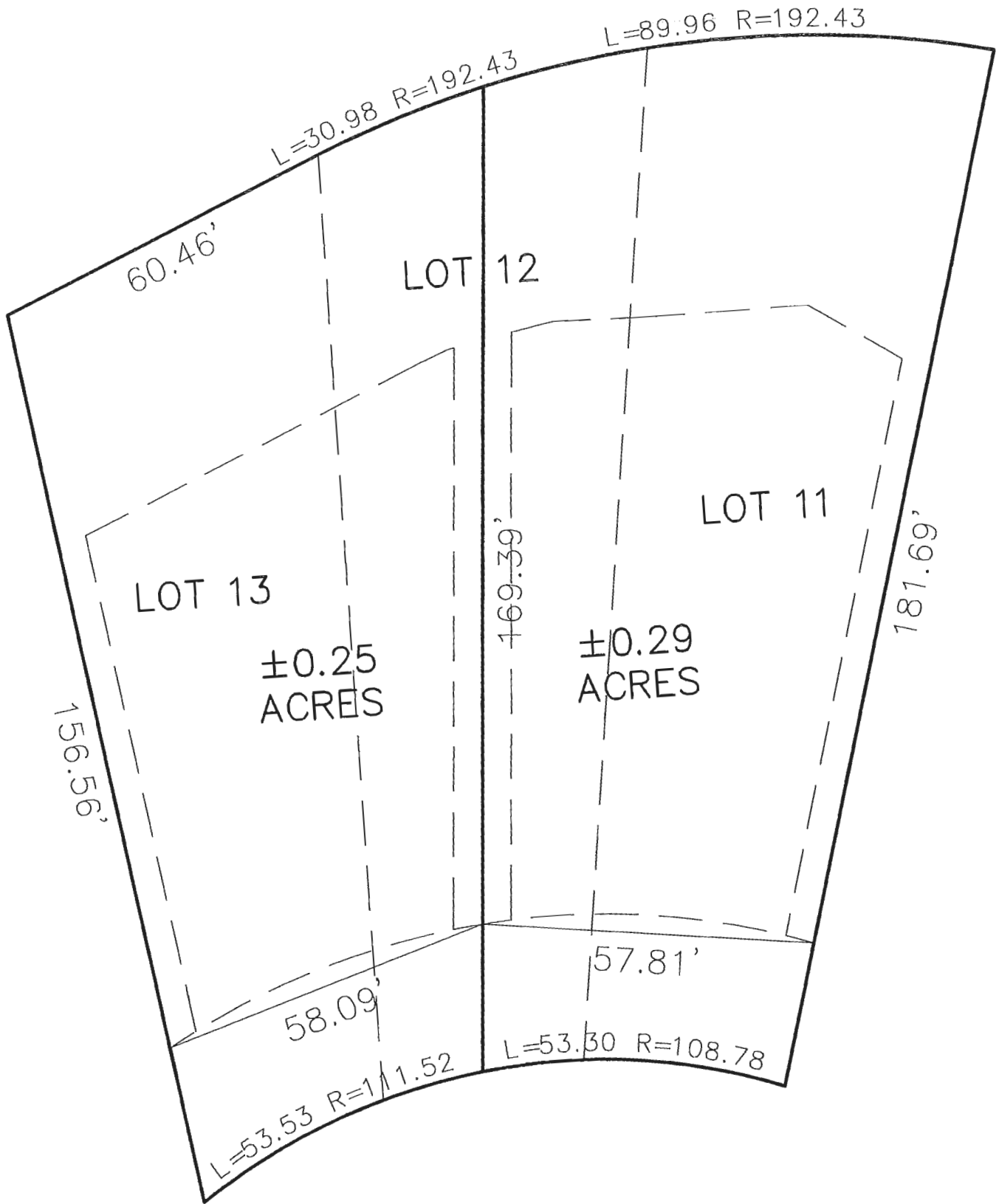
Signature of Applicant(s) Date

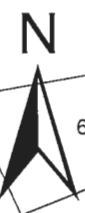
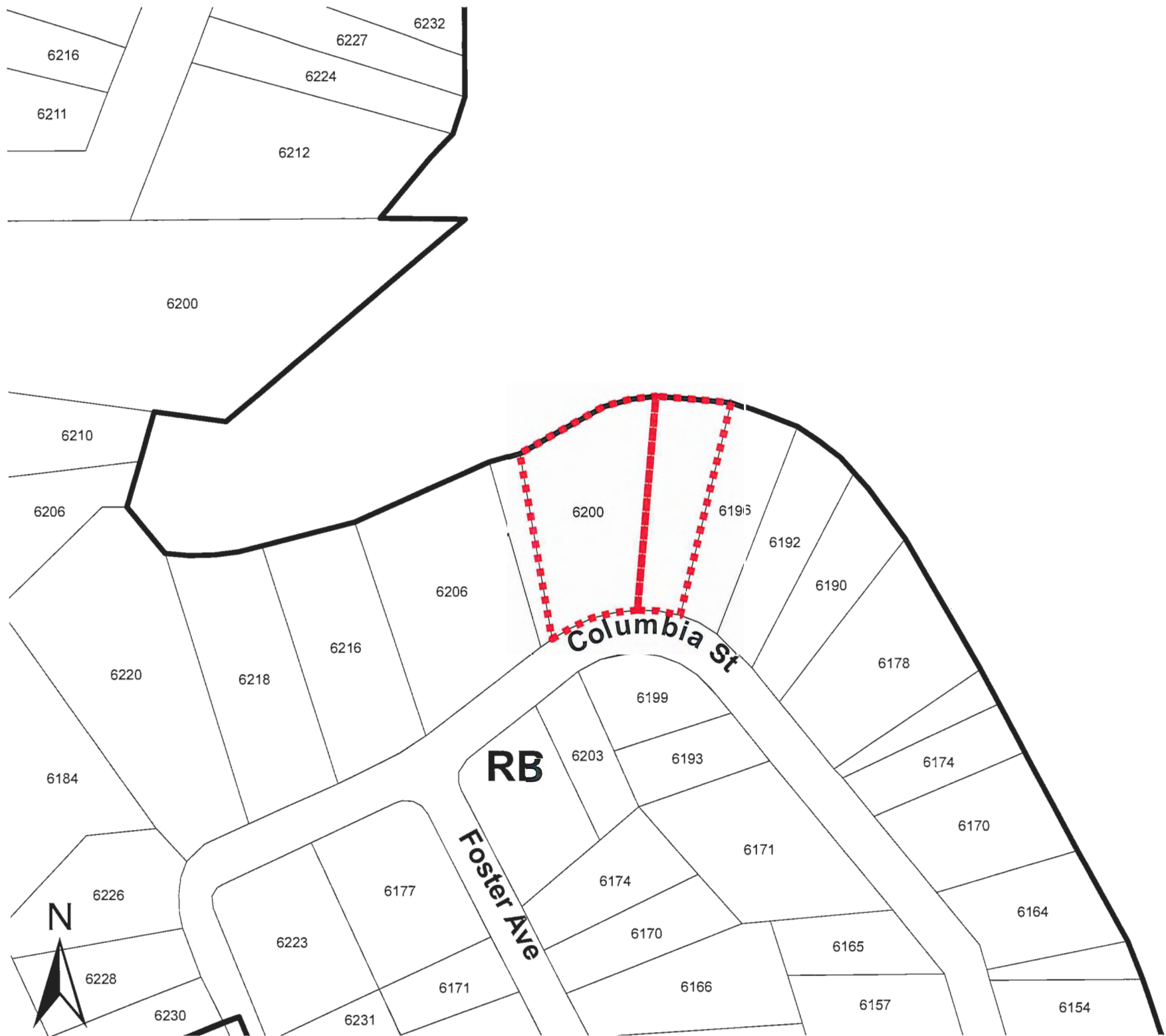
VARIANCE FOR 6200 COLUMBIA: LOTS 11 & 13

1. Unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.
 - 1a. Requesting a revision in lots 11-12 and 13 to create two larger lots that meet the minimum of 8000sf per lot. Lot 12 would be split in half and Lots 11 and 13 would become 11361sf and 11897sf respectfully which exceed the required ordinance.
2. These special circumstances are not self created.
 - 2a. Land was purchased from the Land Bank as is with one small home straddling lots 12-13 & lot 11 is vacant.
3. Strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties.
 - 3a. The 3 smaller lots would increase the density of homes, traffic, parking, and lack of green space.
4. That the alleged practical difficulties which will result from a failure to grant the variance would unreasonably prevent the owner from using the property for a permitted purpose.
 - 4a. The reselling of the 3 smaller lots would be impaired as lots 12 & 13 did not meet the 8000sf minimum.
5. Granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.
 - 5a. The 2 larger lots will be more attractive for resale. In addition it will create more Green space and expanded parking potential. I would anticipate minimum public opposition or any safety concerns.

6. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.
 - 6a. The property with 2 new homes will greatly enhance the neighborhood cosmetically and increase the land values
7. The conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.
 - 7a. Have no opinion or knowledge.
8. Granting the variance will be generally consistent with public interest and the purposes and intent of this Chapter.
 - 8a. I believe it does.

Jim Bartow-Owner

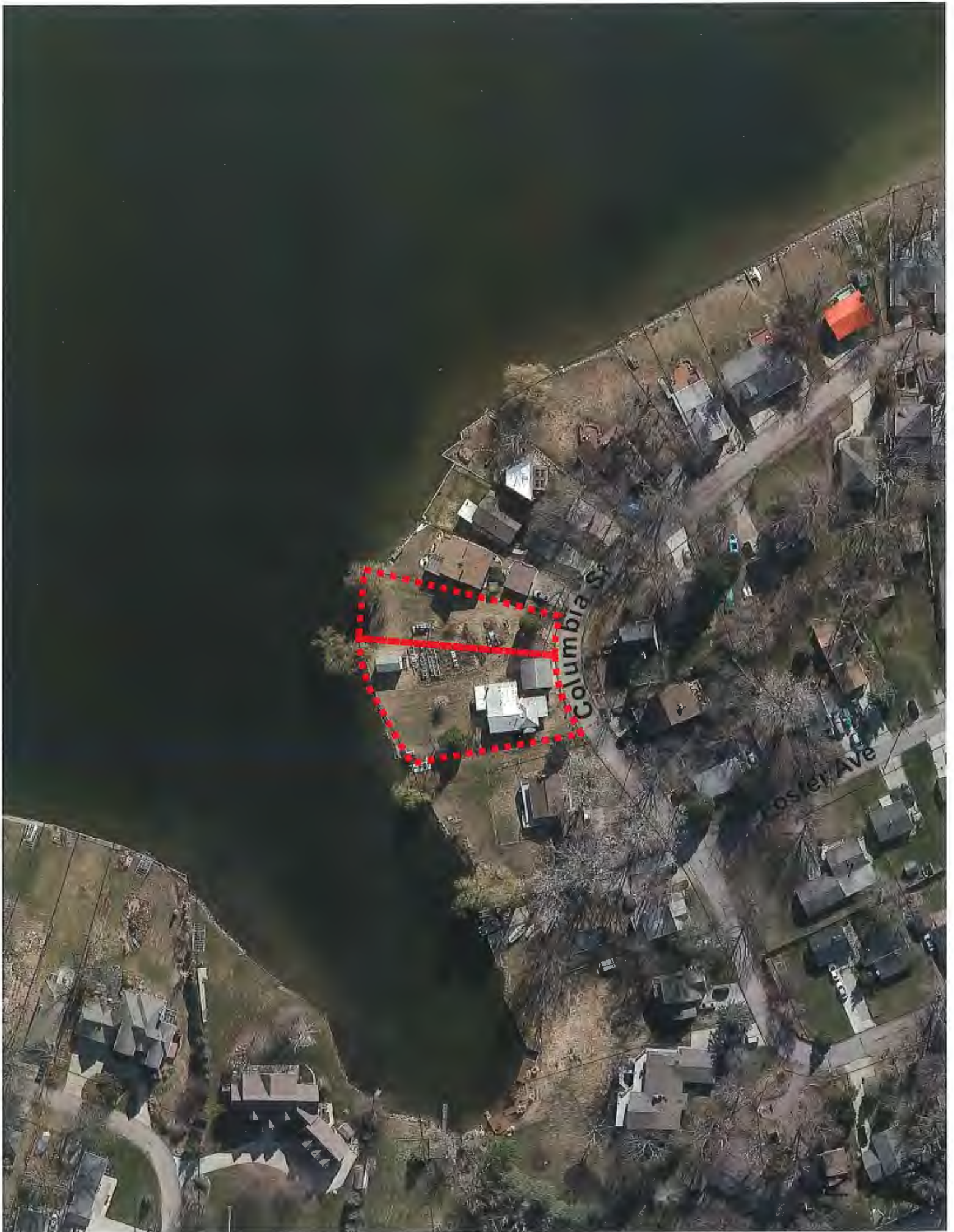




RB

Columbia St

Foster Ave





Revised

To: Zoning Board of Appeals
From: Keith Chapman, Assistant Planner
Date: December 13, 2017
Re: ZBA Case No. 17-12-13-1 (Lansing Mart Associates, LLC)

ZBA CASE NO.: 17-12-13-1 (Lansing Mart Associates, LLC), 31500 Northwestern Highway Suite 100, Farmington Hills, MI 48334
DESCRIPTION: 2020 West Grand River Avenue
TAX PARCEL: 21-226-008
ZONING DISTRICT: C-3 (Commercial)

The applicant is requesting a variance from the following section of the Code of Ordinances:

- Section 86-618 (2), Nonconforming structures, other than single-family structures, may be altered, expanded, or modernized without prior approval of the Zoning Board of Appeals; provided, that structural alterations or extensions shall not increase the area, height, bulk, use, or extent of the structure and shall satisfy all other applicable site development regulations.

Lansing Mart Associates, LLC, the applicant, has requested a variance to increase the height of the front façade of a nonconforming building at 2020 West Grand River Avenue. The approximate 19.329 acre site is zoned C-3 (Commercial).

The submitted site plan shows an existing 119,703 square foot retail building. The building is considered to be nonconforming as it does not meet the required rear yard setback of 250 feet from an adjacent residential district for all buildings, parking, access drive, or other structures. The property to the north of the subject site is zoned RDD (Multiple Family) and the building is located 88 feet from the zoning district. Any addition to the building height requires approval from the Zoning Board of Appeals (ZBA). The applicant intends to increase the height of the front façade on the eastern storefront from 21' 7 ¼" to 29' 3 ¼".

Currently, there is a 14.6 foot by 49.4 foot section of the building that sticks out from the southeast corner. This section will be removed and the proposed front façade will be even with the existing building.

Zoning Board of Appeals
December 13, 2017
RE: ZBA Case No. 17-12-13-1 (Lansing Mart Associates)
Page 2

Site History

- Township Assessing Department records indicate that the building was constructed in 1970.

Attachments

1. Application materials
2. Site location map

G:\COMMUN PLNG & DEV\PLNG\ZBA\2017 ZBA\ZBA 17-12-13\ZBA 17-12-13-1 (Lansing Mart Associates)\STAFF REPORT LANSING MART

CHARTER TOWNSHIP OF MERIDIAN
PLANNING DIVISION
5151 MARSH ROAD, OKEMOS, MI 48864
(517) 853-4560

VARIANCE APPLICATION


A. Applicant LANSING MART ASSOCIATES, LLC
Address of Applicant C/O GERSHENSON REALTY & INVESTMENT LLC, 31500 NORTHWESTERN HIGHWAY
SUITE 100, FARMINGTON HILLS, MICHIGAN 48334
Telephone (Work) (248) 785-2307 Telephone (Home) CELL - (248) 425-5651
Fax (248) 785-2301 Email address: GARY@GERSHENSONREALTY.COM
Interest in property (circle one): Owner Tenant Option Other

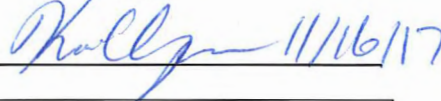
B. Site address/location 2020 WEST GRAND RIVER AVENUE, OKEMOS, MICHIGAN 48864
Zoning district _____ Parcel number 33-02-02-21-226-008

C. Nature of request (Please check all that apply):
 Request for variance(s)
 Request for interpretation of provision(s) of the "Zoning Ordinance" of the Code of Ordinances
 Review an order, requirements, decision, or a determination of a Township official charged with interpreting or enforcing the provisions of the "Zoning Ordinance" of the Code of Ordinances

Zoning Ordinance section(s) _____

D. Required Supporting Material Supporting Material if Applicable
-Property survey -Architectural sketches
-Legal description -Other
-Proof of property ownership or approval letter from owner
-Site plan to scale
-Written statement, which demonstrates how all the review criteria will be met (See next page)

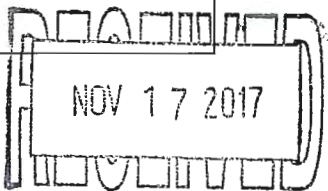
 BRUCE GERSHENSON _____
Signature of Applicant Print Name Date

Fee: 450.00 Received by/Date:  11/16/17

I (we) hereby grant permission for members of the Charter Township of Meridian Zoning Board of Appeals, Township staff members and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purposes of gathering information including but not limited to the taking and the use of photographs. (Note to Applicant(s): This is optional and will not affect any decision on your application.)

Signature of Applicant(s) _____
Date

Signature of Applicant(s) _____
Date



APPLICATION FOR ZBA VARIANCE

Change of Approved Non-conforming Building

For the Board to approve a dimensional variance, the applicant must show practical difficulty by showing:

- Unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.

This is an existing commercial building setback more than nine hundred (900) feet from the road, behind two (2) outparcel buildings and is in need of improvements and new tenants.

- These special circumstances are not self-created.

This is an existing commercial building in need of improvements and new tenants.

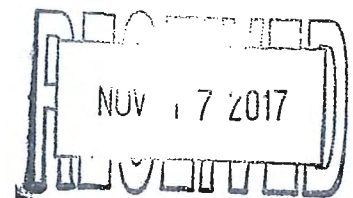
- Strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties.

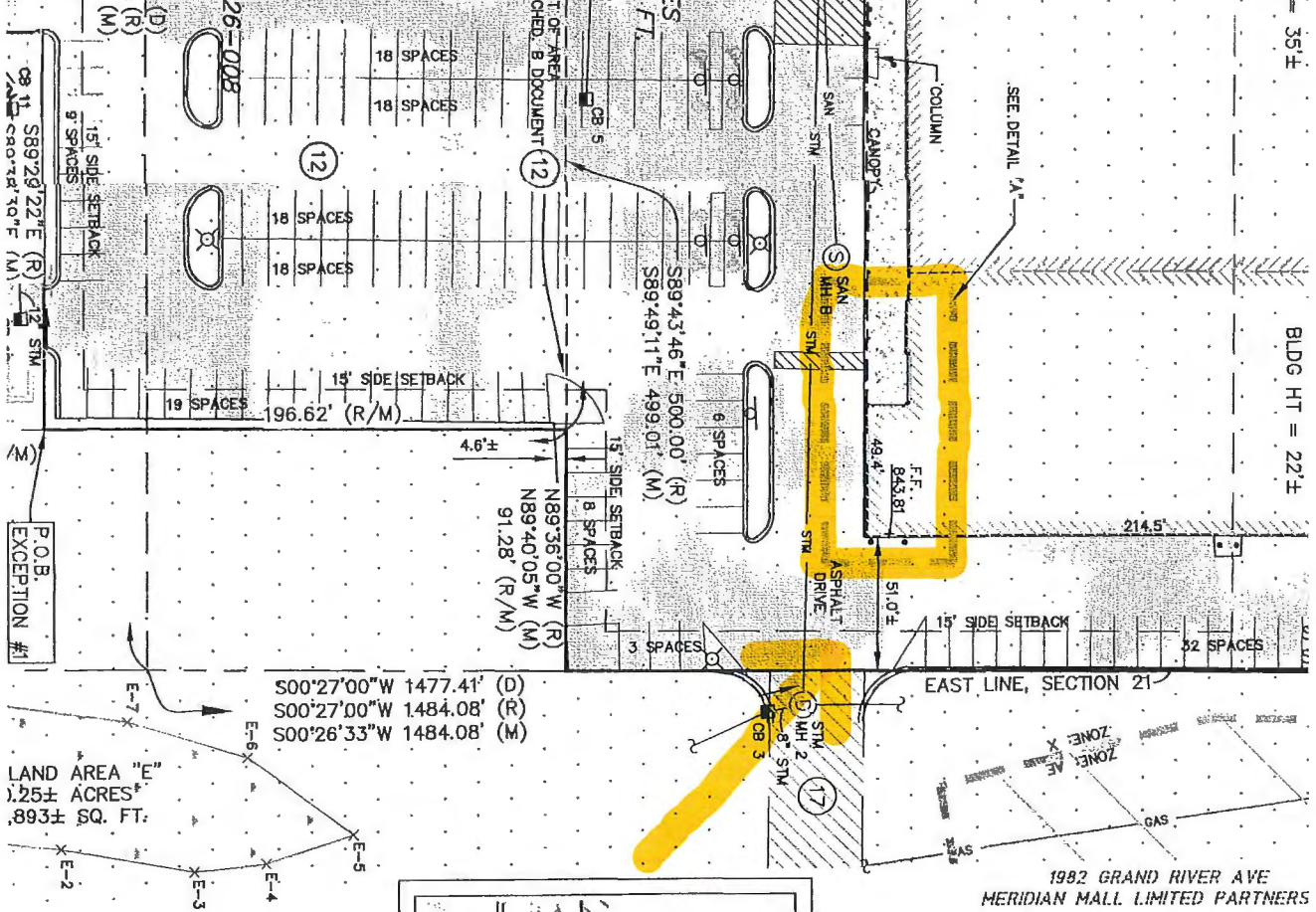
The property is unique due to the location of the existing commercial building. The owner is not able to fully utilize the tenant space without the ability to raise the height of portions of the existing building. The added tenant canopy would be the same height or lower than the existing adjacent Tenant storefronts and without this ability to raise the building height for new Tenants, the existing building space would be unleaseable.

- That the alleged practical difficulties which will result from a failure to grant variance would unreasonable prevent the owner from using the property for a permitted purpose.

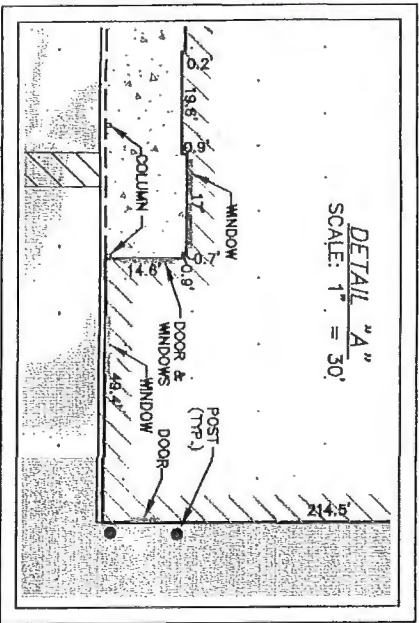
The problems that this development faces is not self-created, this is an existing commercial building in need of renovation to allow for new tenants.

- Granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to



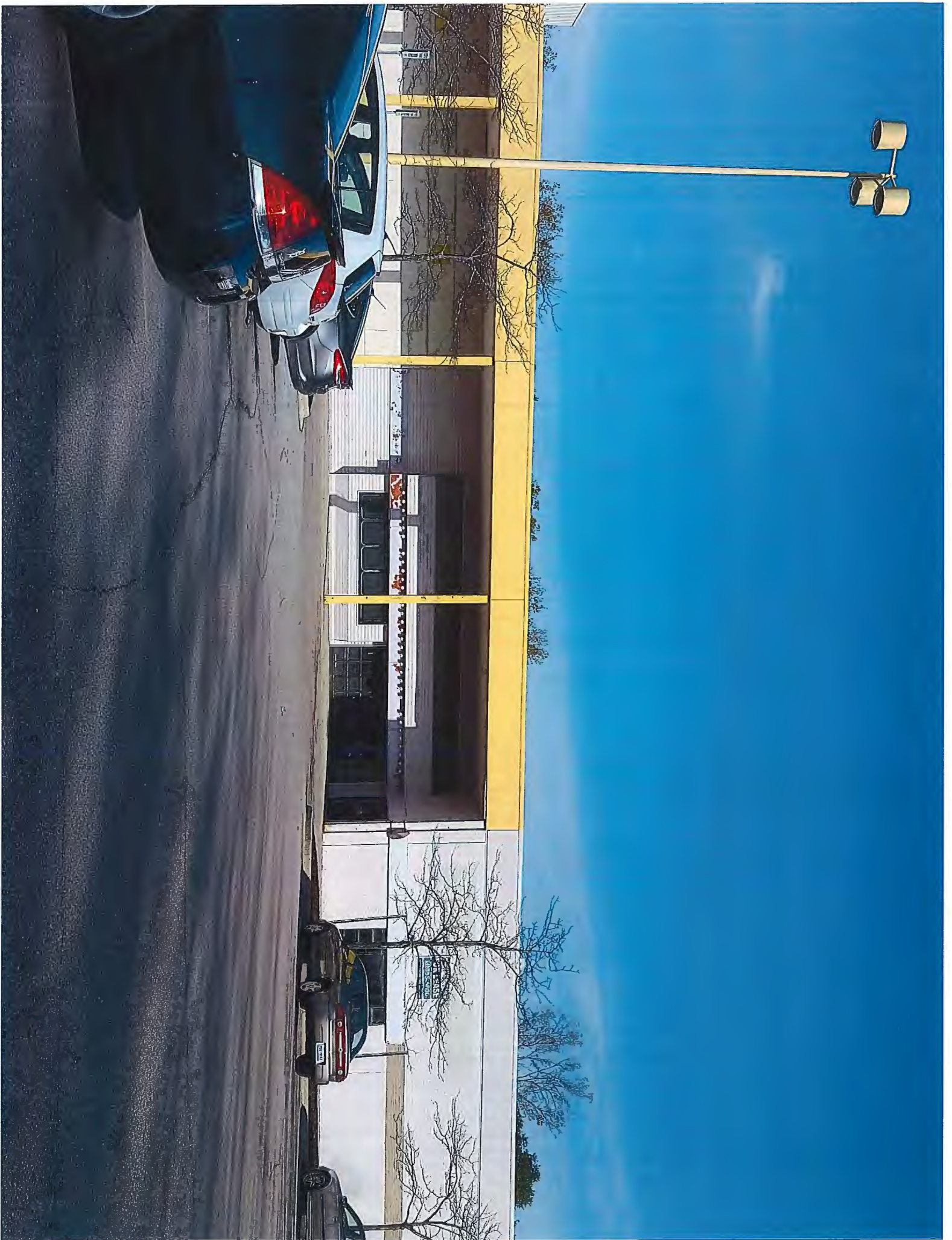


LAND AREA "E"
 1.25± ACRES
 893± SQ. FT.



NOTE: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD OBSERVATION AVAILABLE PLAN INFORMATION AND AN 811 DESIGN TICKET REQUEST. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN ANY STRUCTURE INVENTORY SHOWN HEREON.

1992 GRAND RIVER AVE
 MERIDIAN MALL LIMITED PARTNERS







FOR LEASE
408-540-0000

STOP

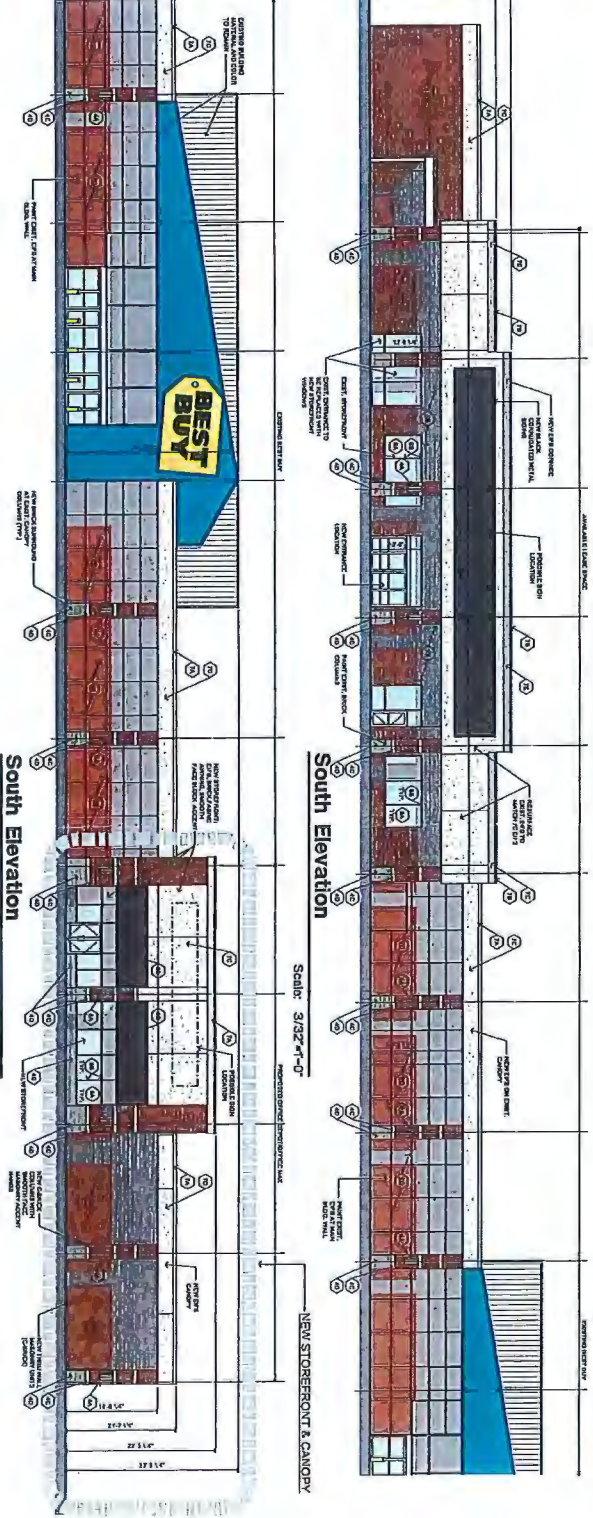
BEST BUY

NOV 17 2017

Exterior Finish Schedule

Mark	Material	Location	Notes	Color	Retention Notes
01	CLADDING	MAIN WALL EXTERIOR	DOWN BURN	RED/WHITE/BLACK	RETAINABLE COORDINATION
02	CLADDING	WALL PANEL	RED/WHITE/BLACK	RED/WHITE/BLACK	RETAINABLE COORDINATION
03	RECEPTIVE FACED CMU	ACCENT WALLS	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
04	CLADDING	WALLS WITH RED CLADDING	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
05	WALL CLADDING	FRONT PORCH WALL	RED CLAD	RED CLAD	RETAINABLE COORDINATION
06	WALL CLADDING	WALL PANEL	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
07	SP-1	WALL PANEL	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
08	SP-2	WALL PANEL	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
09	CLADDING	FRONT PORCH	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
10	FRONT PORCH	FRONT PORCH	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
11	FRONT PORCH	FRONT PORCH	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
12	FRONT PORCH	FRONT PORCH	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
13	FRONT PORCH	FRONT PORCH	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
14	FRONT PORCH	FRONT PORCH	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
15	FRONT PORCH	FRONT PORCH	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
16	FRONT PORCH	FRONT PORCH	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
17	FRONT PORCH	FRONT PORCH	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
18	FRONT PORCH	FRONT PORCH	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
19	FRONT PORCH	FRONT PORCH	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION
20	FRONT PORCH	FRONT PORCH	DOWN BURN	DOWN BURN	RETAINABLE COORDINATION

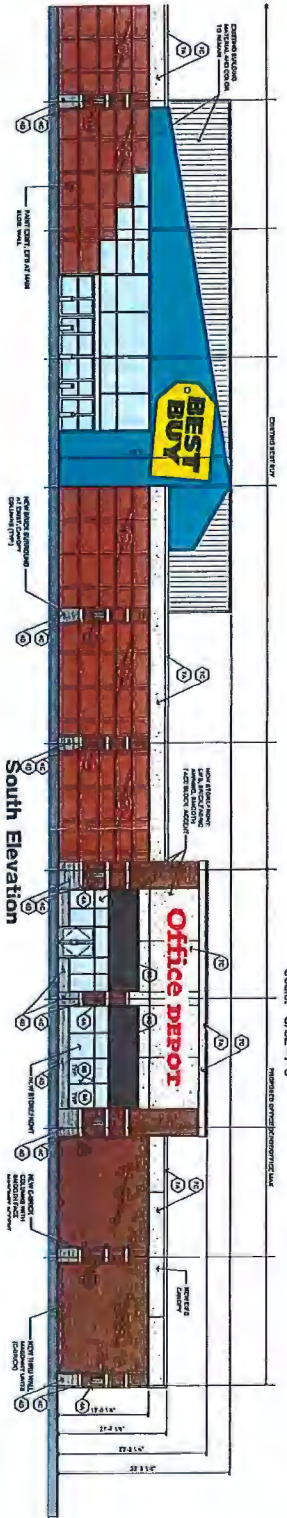
GENERAL NOTES:
 1. THIS SCHEDULE IS FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE MATERIALS AND FINISHES TO BE USED ON THE PROJECT.
 2. ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL TO THE ARCHITECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS.



Exterior Finish Schedule

Mark	Material	Location	Qty.	Color	Remarks/Notes
01	CLADDING	WALLS AND CORNICES	1000000	BRICK	BRICK WITH MORTAR
02	SPANDREL PANEL	SPANDREL PANELS	100	CONCRETE	CONCRETE WITH FINISH
03	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
04	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
05	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
06	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
07	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
08	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
09	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
10	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
11	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
12	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
13	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
14	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
15	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
16	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
17	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
18	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
19	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH
20	WINDSTOPPING BOARD	WINDSTOPPING BOARD	100	WOOD	WOOD WITH FINISH

GENERAL NOTES:
 1. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND RECORD THE SAME IN THE FIELD BOOK AND PHOTOGRAPHICALLY.
 2. ALL DIMENSIONS ARE PERMANENT UNLESS OTHERWISE NOTED.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



4936	4989
------	------

4980

4953

4901

RDD

5000

1982

Okemos Rd

C-3

2020

DRIVEWAY

1982

W Grand River Ave

C-2

2090

2080

2060

2040

2030

2010

2002

2085

2075

2055

2041

2037

2049

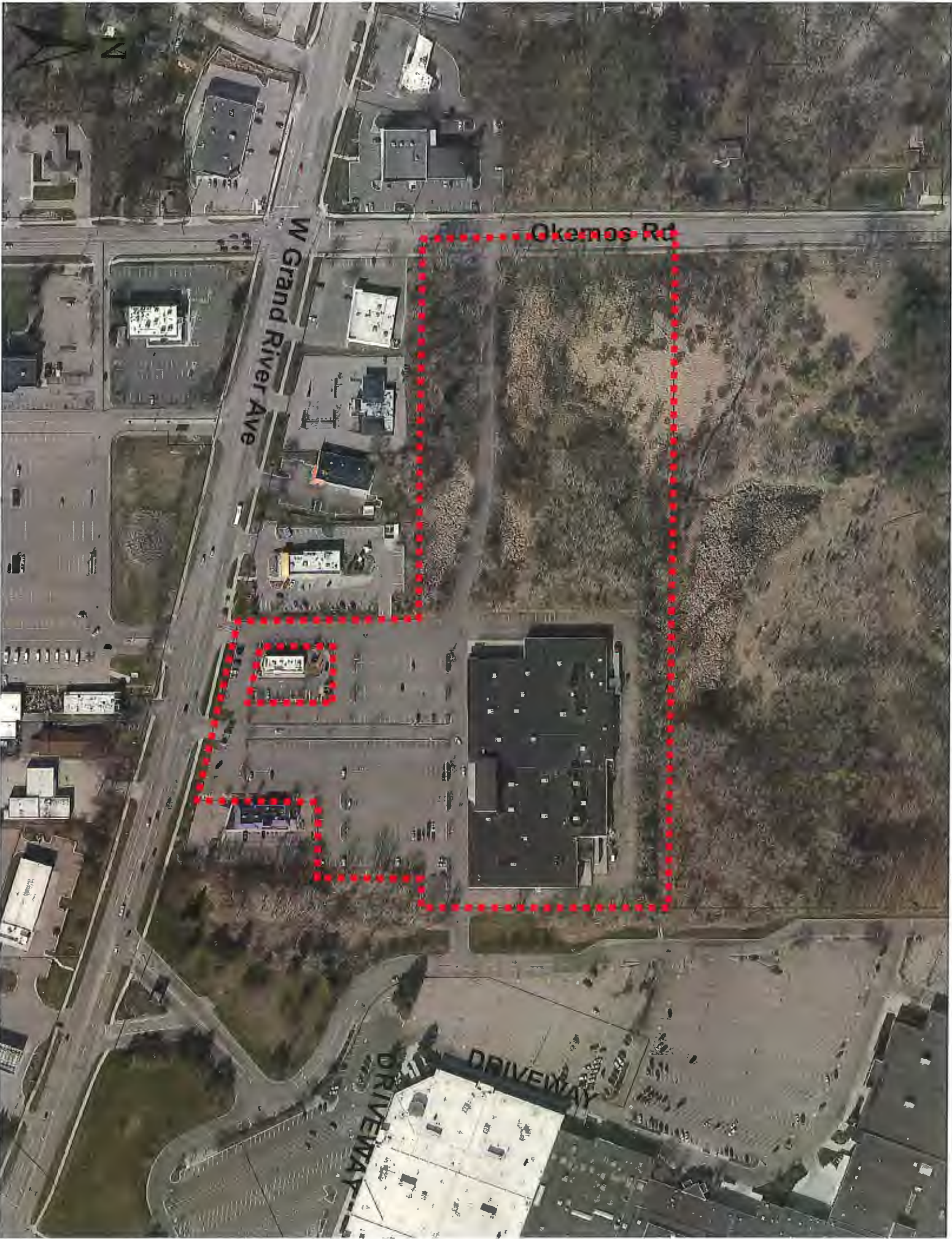
2045

4837

4825

PO

2131



W Grand River Ave

Okemos Rd

DRIVEWAY

DRIVEWAY

PLANS FOR CONSTRUCTION OF PROPOSED BUILDING REDEVELOPMENT LANSING MART

2020 GRAND RIVER AVE
OKEMOS, MI 48864

DATE	DESCRIPTION	BY
REVISIONS/SUBMITTALS		

NOTES

GENERAL

1. BENCHMARKS
Site BM - Arrow on Fire Hydrant on the North side of Grand River Avenue, South of Taco Bell.
Elevation: 846.61 (NGVD 29)

FEMA BENCHMARKS

BM #25 - Railroad crossing light at Northwest quadrant of Okemos Road and Grand Trunk Western Railroad.
Elevation: 849.17 (NGVD 29) (Revised 11/8/2017)

BM #27 - Railroad spike in the West side of a Power Pole at House #5023 on Algonquin Way.
Elevation: 841.02 (NGVD 29)

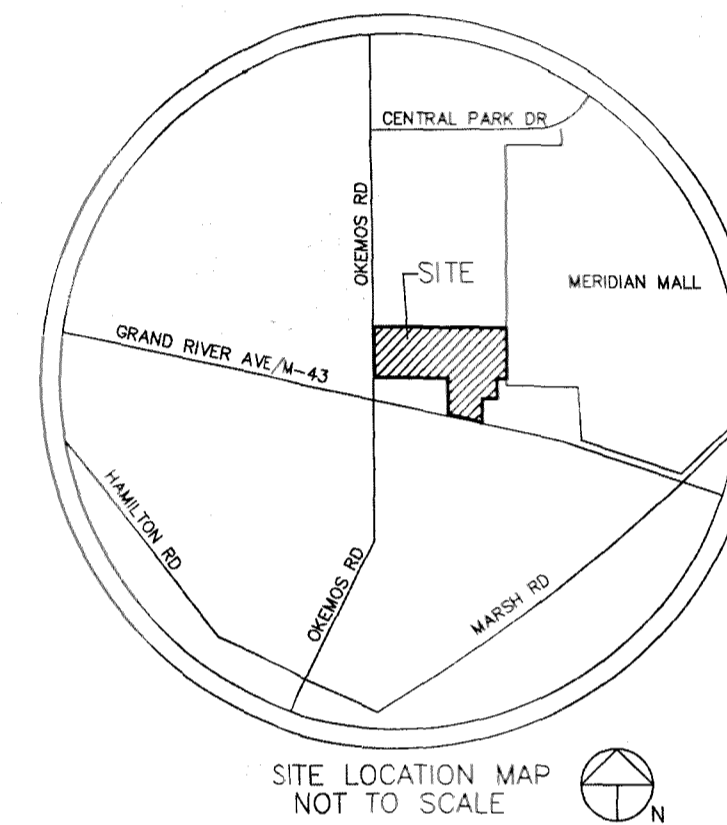
Subtract 0.43 from all elevations to obtain NAVD 88.

2. The contractor shall call "MISS DIG" at 1-800-482-7171 at least 3 working days (excluding weekends and holidays) prior to construction.
3. All work shall be done in accordance with the applicable codes, ordinances, design standards and standard specifications of the following agencies which have the responsibility of reviewing plans and specifications for construction of all items included in these plans:
- Meridian Township
 - Ingham County
 - Michigan
4. The contractor shall apply for and obtain all necessary permits as required for construction of this project prior to the beginning of work from the previously mentioned agencies.
5. The contractor shall notify the Michigan Department of Transportation a minimum of 24 hours prior to any construction in the road right-of-way of Grand River Avenue (M-43).
6. The contractor agrees that in accordance with generally accepted construction practices, the contractor will be required to assume sole responsibility for job site conditions during the course of construction of the project, including the safety of all persons and property. This requirement shall be made to apply continuously and not be limited to normal working hours.
7. The locations and dimensions shown on the plans for existing facilities are in accordance with all available information. The engineer does not guarantee the accuracy of this information or that all existing underground facilities are shown.
8. When any existing utility requires adjustment or relocation, the contractor shall notify the proper utility company and coordinate the work accordingly. There shall be no claim made by the contractor for any costs caused by delays in construction due to the adjustment or relocation of utilities.
9. The contractor is to verify that the plans and specifications that he/she is building from are the very latest plans and specifications that have been approved by all applicable permit-issuing agencies and the owner. All items constructed by the contractor prior to receiving the final approval and permits having to be adjusted or re-done, shall be done at the contractor's expense.
10. Should the contractor encounter conflict between these plans and specifications, either among themselves or with the requirements of any and all reviewing and permit-issuing agencies, he/she shall seek clarification in writing from this engineer before commencement of construction. Failure to do so shall be at the sole expense to the contractor.
11. Unless otherwise noted the contractor shall furnish as-built drawings indicating all changes and deviations from approved drawings.
12. All signs and traffic control measures during construction and maintenance activities shall be constructed and installed per the latest edition of the Michigan Manual of Uniform Traffic Control Devices (M.M.U.T.C.D.).
13. LSG Engineers & Surveyors will not be responsible for field design changes made by the contractor or the contractor's surveyor where LSG Engineers & Surveyors has not approved these design changes.

GRADING AND SITE WORK

1. Prior to grading, cutting and filling the contractor shall remove all topsoil, debris, vegetation, etc. from the site. Acceptable material excavated from the cut areas shall be used for fill. Fill shall be placed in layers not exceeding depths of 12 inches and shall be compacted to 95% of its maximum unit weight.
2. The contractor shall proof-roll the existing subgrade to determine its suitability. If, in the opinion of the engineer, the subgrade is unsuitable that portion of the subgrade shall be excavated and replaced with a minimum of 12" M.D.O.T. Class II granular material.

3. All site grading must be performed to insure positive drainage across the entire site, throughout the period of construction and after project completion.
4. All sedimentation and soil erosion control measures shall be constructed prior to the commencement of site grading and must conform to Part 91 of Act 451 of the Public Acts of 1994 as amended. All applicable permits shall be obtained before implementing these measures. The contractor shall be responsible for maintaining the sedimentation and soil erosion control measures throughout construction.



LOCATION MAP

LEGEND

(E) SPOT ELEVATION	(P) SPOT ELEVATION
(E) 1' CONTOURS	(P) 1' CONTOUR
(E) 5' CONTOURS	(P) 5' CONTOUR
(E) GAS LINE	(P) GAS LINE
(E) TELEPHONE LINE	(P) TELEPHONE LINE
(E) ELECTRIC LINE	(P) ELECTRIC LINE
(E) STORM DRAIN	(P) STORM DRAIN
(E) SANITARY SEWER	(P) SANITARY SEWER
(E) WATER MAIN	(P) WATER MAIN
(E) CHAIN LINK FENCE	(P) CHAIN LINK FENCE
(E) WOOD FENCE	(P) WOOD FENCE
(E) WATER WELL	(P) GUARD RAIL
(E) FIRE HYDRANT	(P) FIRE HYDRANT ASSEMBLY
(E) WATER VALVE	(P) WATER MAIN VALVE
(E) SANITARY MANHOLE	(P) WATER MAIN BEND
(E) STORM MANHOLE	(P) WATER MAIN REDUCER
(E) CATCHBASIN	(P) CURB INLET
(E) CULVERT	(P) CATCH BASIN
(E) LIGHT POLE	(P) TRENCH DRAIN
(E) UTILITY POLE	(P) FLARED END SECTION
(E) SIGN	(P) MANHOLE
(E) MAILBOX	(P) LIGHT POLE
(E) CONIFEROUS TREE	(P) SANITARY SEWER CLEANOUT
(E) DECIDUOUS TREE	(P) UTILITY CROSSING
(P) SIDE SLOPE	(P) BUILDING WALLPACK
(P) DRAINAGE SWALE	(P) SIGN
(P) DRAINAGE FLOW ARROW	(P) PARKING COUNT
(P) RIP RAP	(P) HANDICAP PARKING
LOW POINT	(P) HANDICAP VAN ACCESSIBLE
HIGH POINT	(P) TRAFFIC FLOW
FINISH FLOOR	(P) MODIFIED CURB & GUTTER
BENCHMARK	(P) REGULAR CURB & GUTTER
WATER SURFACE	(P) SCREEN WALL OR RETAINING WALL
GRADE BREAK	
(P) HEAVY DUTY ASPHALT AREA	
(P) LIGHT DUTY ASPHALT AREA	
(P) CONCRETE SURFACE	
(P) AGGREGATE SURFACE	
(P) DRAINAGE BASIN BOUNDARY	
(P) BASIN DESIGNATION	
(P) BASIN AREA IN ACRES	

NOTE:
(E) - INDICATES EXISTING
(P) - INDICATES PROPOSED

INDEX

- C COVER
- C1.0 ALTA / NSPS LAND TITLE SURVEY
- C2.0 SITE PLAN

PREPARED FOR:
**GERSHENSON
REALTY + INVESTMENT**
31500 NORTHWESTERN HIGHWAY,
STE 100
FARMINGTON HILLS, MI 48334

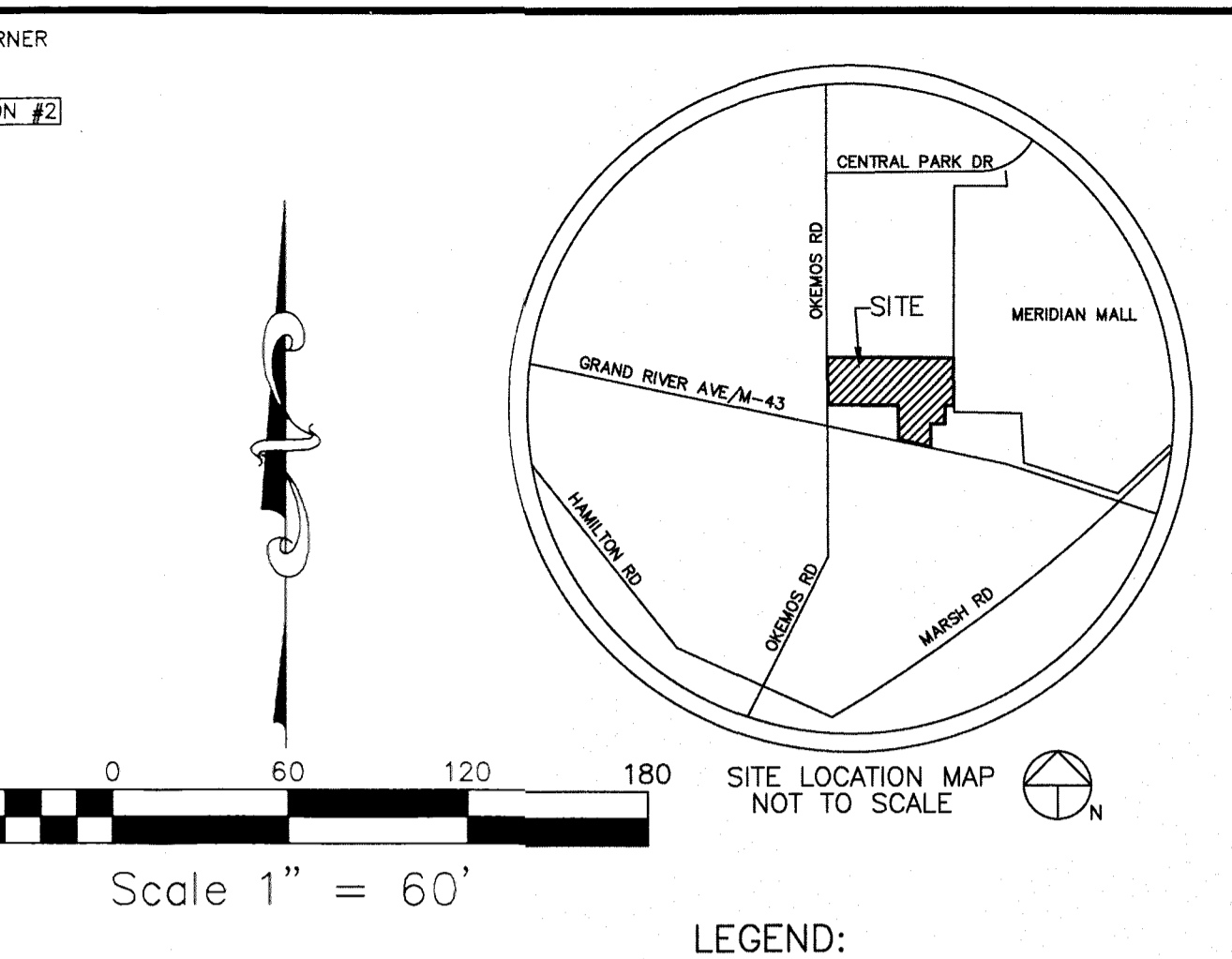
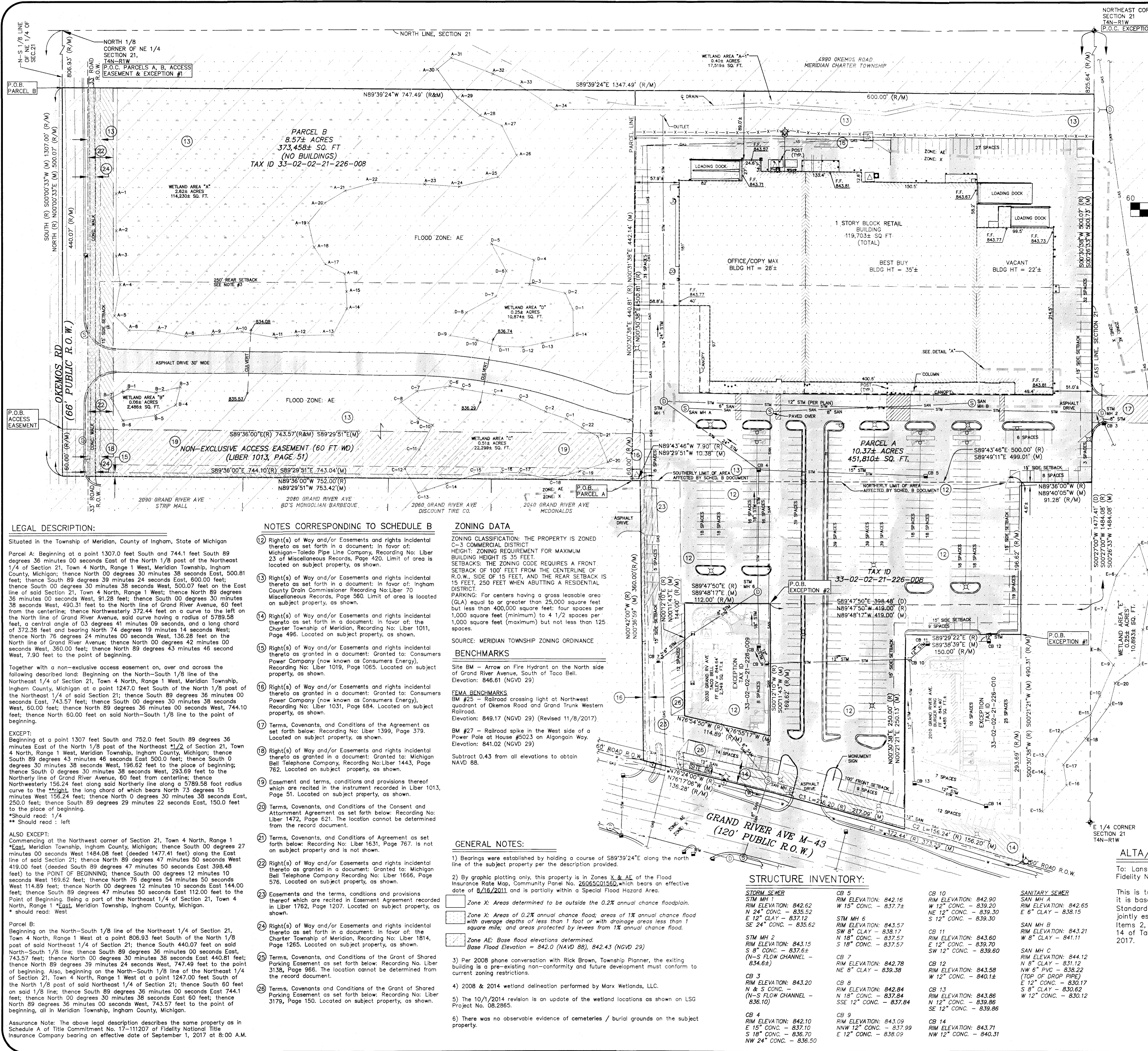
LSG
Engineers
& Surveyors

3135 PINE TREE ROAD
SUITE D
LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
www.lsg-es.com

DATE NOVEMBER 15, 2017
PROJECT NO. 1612
SHEET NO. C

NOV 17 2017

E-1a
2.52



LEGEND:

- STORM MANHOLE
- CATCHBASIN
- STORM LINE
- STORM MANHOLE
- SANITARY CLEANOUT
- SANITARY LINE
- ELECTRIC MANHOLE
- UTILITY POLE
- GUY WIRE
- OVERHEAD UTILITY LINE
- UNDERGROUND UTILITY LINE
- TRANSFORMER
- AC-UNIT
- TELEPHONE MANHOLE
- ROOF DRAIN
- TELEPHONE PEDESTAL
- ELECTRIC PEDESTAL
- ELECTRIC METER
- LIGHT POLE
- MONUMENT SIGN
- WATER MANHOLE
- WATER METER
- WATER LINE
- WATER VALVE
- FIRE HYDRANT
- MONITORING WELL
- GAS METER
- GAS VALVE
- GAS LINE
- FENCE LINE
- DECIDUOUS TREE
- CONIFEROUS TREE
- CURB AND GUTTER
- TREE LINE
- SET IRON & CAP #47969
- FOUND IRON AS NOTED
- SECTION CORNER
- DISTANCE NOT TO SCALE
- YARDBASE
- POST INDICATOR VALVE
- MALL HYDRANT
- MAIL BOX
- SATELLITE DISH
- ASPHALT
- CONCRETE
- RECORDED
- MEASURED

DETAIL "A"
SCALE: 1" = 30'

PARKING SPACE TABLE

TYPE OF SPACE	PARCEL A	TACO BELL EXCEPTION	BURGER KING EXCEPTION	TOTAL EXISTING SPACES
REGULAR	479	8	54	541
HANDICAP	12	1	2	15
TOTAL	491	9	56	556

CURVE TABLE

NUMBER	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD
C1	372.44' (R)	5789.58'	03°41'09" (R)	N74°19'14"W 372.38' (R)
	373.29' (M)	(R&M)	03°41'39" (M)	N74°31'32"W 373.22' (M)
C2	156.24' (R)	5789.58'	01°32'45" (M)	N73°15'W 156.24' (R)
	156.20' (M)	(R&M)	01°32'45" (M)	N73°27'05"W 156.20' (M)
C3	217.09' (M)	5789.58'	02°08'54" (R)	N75°17'54"W 217.07' (M)

ALTA/NSPS LAND TITLE SURVEY CERTIFICATE:
To: Lansing Mart Associates, a Michigan limited partnership; and Fidelity National Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6(b), 7(c), 7(b)(1), 7(c), 8, 9, 10(a), 11, 13, and 14 of Table A thereof. The field work was completed on July 11, 2017.

Wendy S. Fuller
Professional Surveyor No. 47969
email: fuller@lsg-es.com
Date: November 13, 2017
Date of Last Revision:

MISS DIG
3 WORKING DAYS
BEFORE YOU DIG OR DRILL CALL 1-800-482-7171 (TOLL FREE)

NOTE: This survey is for the exclusive use and benefit of the parties indicated and is not intended for future transactions.

LEGAL DESCRIPTION:
Situating in the Township of Meridian, County of Ingham, State of Michigan
Parcel A: Beginning at a point 1307.0 feet South and 744.1 feet South 89 degrees 36 minutes 00 seconds East of the North 1/8 post of the Northeast 1/4 of Section 21, Town 4 North, Range 1 West, Meridian Township, Ingham County, Michigan; thence North 00 degrees 30 minutes 38 seconds East, 500.81 feet; thence South 89 degrees 39 minutes 24 seconds East, 600.00 feet; thence South 00 degrees 30 minutes 38 seconds West, 500.07 feet on the East line of said Section 21, Town 4 North, Range 1 West; thence North 89 degrees 36 minutes 00 seconds West, 91.28 feet; thence South 00 degrees 30 minutes 38 seconds West, 490.31 feet to the North line of Grand River Avenue, 60 feet from the centerline; thence Northwesterly 372.44 feet on a curve to the left on the North line of Grand River Avenue, said curve having a radius of 5789.58 feet, a central angle of 03 degrees 41 minutes 09 seconds, and a long chord of 372.38 feet and bearing North 74 degrees 19 minutes 14 seconds West; thence North 76 degrees 24 minutes 00 seconds West, 136.28 feet on the North line of Grand River Avenue; thence North 00 degrees 42 minutes 00 seconds West, 360.00 feet; thence North 89 degrees 45 minutes 46 seconds West, 7.50 feet to the point of beginning.

Together with a non-exclusive access easement on, over and across the following described land: Beginning at a point 1307.0 feet South of the Northeast 1/4 of Section 21, Town 4 North, Range 1 West, Meridian Township, Ingham County, Michigan at a point 1247.0 feet South of the North 1/8 post of the Northeast 1/4 of said Section 21; thence North 89 degrees 36 minutes 00 seconds East, 743.57 feet; thence South 00 degrees 30 minutes 38 seconds West, 60.00 feet; thence North 89 degrees 36 minutes 00 seconds West, 744.10 feet; thence North 60.00 feet on said North-South 1/8 line to the point of beginning.

EXCEPT:
Beginning at a point 1307 feet South and 752.0 feet South 89 degrees 36 minutes East of the North 1/8 post of the Northeast 1/4 of Section 21, Town 4 North, Range 1 West, Meridian Township, Ingham County, Michigan at a point 1247.0 feet South of the North 1/8 post of the Northeast 1/4 of said Section 21; thence North 89 degrees 36 minutes 00 seconds East, 743.57 feet; thence South 00 degrees 30 minutes 38 seconds West, 60.00 feet; thence North 89 degrees 36 minutes 00 seconds West, 744.10 feet; thence North 60.00 feet on said North-South 1/8 line to the point of beginning.

*Should read: 1/4
*Should read: left

ALSO EXCEPT:
Commencing at the Northwest corner of Section 21, Town 4 North, Range 1 East, Meridian Township, Ingham County, Michigan; thence South 00 degrees 27 minutes 00 seconds West 1484.08 feet (deeded 1477.41 feet) along the East line of said Section 21; thence North 89 degrees 47 minutes 50 seconds West 419.00 feet (deeded 419.00 feet) along the East line of said Section 21 to the POINT OF BEGINNING; thence South 00 degrees 12 minutes 10 seconds West 169.62 feet; thence North 76 degrees 54 minutes 50 seconds West 114.89 feet; thence North 00 degrees 12 minutes 10 seconds East 144.00 feet; thence South 89 degrees 47 minutes 50 seconds East 112.00 feet to the Point of Beginning. Being a part of the Northeast 1/4 of Section 21, Town 4 North, Range 1 East, Meridian Township, Ingham County, Michigan.

*Should read: West

Parcel B:
Beginning on the North-South 1/8 line of the Northeast 1/4 of Section 21, Town 4 North, Range 1 West, Meridian Township, Ingham County, Michigan at a point 806.93 feet South of the North 1/8 post of said Northeast 1/4 of Section 21; thence South 440.07 feet on said North-South 1/8 line; thence South 89 degrees 36 minutes 00 seconds East, 743.57 feet; thence North 00 degrees 30 minutes 38 seconds East 440.81 feet; thence North 89 degrees 39 minutes 24 seconds West, 747.49 feet to the point of beginning. Also, beginning on the North-South 1/8 line of the Northeast 1/4 of Section 21, Town 4 North, Range 1 West at a point 1247.00 feet South of the North 1/8 post of said Northeast 1/4 of Section 21; thence South 60 feet on said 1/8 line; thence South 89 degrees 36 minutes 00 seconds East 744.1 feet; thence North 00 degrees 30 minutes 38 seconds East 50 feet; thence North 89 degrees 36 minutes 00 seconds West, 743.57 feet to the point of beginning, all in Meridian Township, Ingham County, Michigan.

Assurance Note: The above legal description describes the same property as in Schedule A of Title Commitment No. 17-11207 of Fidelity National Title Insurance Company bearing an effective date of September 1, 2017 at 8:00 AM.

- NOTES CORRESPONDING TO SCHEDULE B**
- Right(s) of Way and/or Easements and rights incidental thereto as set forth in a document: In favor of: Michigan-Toledo Pipe Line Company, Recording No: Liber 23 of Miscellaneous Records, Page 420. Limit of area is located on subject property, as shown.
 - Right(s) of Way and/or Easements and rights incidental thereto as set forth in a document: In favor of: Ingham County Drain Commissioner, Recording No: Liber 70 Miscellaneous Records, Page 580. Limit of area is located on subject property, as shown.
 - Right(s) of Way and/or Easements and rights incidental thereto as set forth in a document: In favor of: Charter Township of Meridian, Recording No: Liber 1011, Page 496. Located on subject property, as shown.
 - Right(s) of Way and/or Easements and rights incidental thereto as granted in a document: Granted to: Consumers Power Company (now known as Consumers Energy), Recording No: Liber 1019, Page 1065. Located on subject property, as shown.
 - Right(s) of Way and/or Easements and rights incidental thereto as granted in a document: Granted to: Consumers Power Company (now known as Consumers Energy), Recording No: Liber 1019, Page 1065. Located on subject property, as shown.
 - Right(s) of Way and/or Easements and rights incidental thereto as granted in a document: Granted to: Consumers Power Company (now known as Consumers Energy), Recording No: Liber 1019, Page 1065. Located on subject property, as shown.
 - Terms, Covenants, and Conditions of the Agreement as set forth below: Recording No: Liber 1399, Page 379. Located on subject property, as shown.
 - Right(s) of Way and/or Easements and rights incidental thereto as granted in a document: Granted to: Michigan Bell Telephone Company, Recording No: Liber 1443, Page 762. Located on subject property, as shown.
 - Easement and terms, conditions and provisions thereof which are recited in the instrument recorded in Liber 1013, Page 51. Located on subject property, as shown.
 - Terms, Covenants, and Conditions of the Consent and Adjustment Agreement as set forth below: Recording No: Liber 1472, Page 621. The location cannot be determined from the record document.
 - Terms, Covenants, and Conditions of Agreement as set forth below: Recording No: Liber 1631, Page 767. Is not on subject property and is not shown.
 - Right(s) of Way and/or Easements and rights incidental thereto as granted in a document: Granted to: Michigan Bell Telephone Company, Recording No: Liber 1656, Page 576. Located on subject property, as shown.
 - Easement and terms, conditions and provisions thereof which are recited in Easement Agreement recorded in Liber 1762, Page 1207. Located on subject property, as shown.
 - Right(s) of Way and/or Easements and rights incidental thereto as granted in a document: In favor of: the Charter Township of Meridian, Recording No: Liber 1814, Page 1265. Located on subject property, as shown.
 - Terms, Covenants, and Conditions of the Grant of Shared Parking Easement as set forth below: Recording No: Liber 3136, Page 956. The location cannot be determined from the record document.
 - Terms, Covenants and Conditions of the Grant of Shared Parking Easement as set forth below: Recording No: Liber 3179, Page 150. Located on subject property, as shown.

ZONING DATA
ZONING CLASSIFICATION: THE PROPERTY IS ZONED C-3 COMMERCIAL DISTRICT
HEIGHT: ZONING REQUIREMENT FOR MAXIMUM BUILDING HEIGHT IS 35 FEET.
SETBACKS: THE ZONING CODE REQUIRES A FRONT SETBACK OF 100' FEET FROM THE CENTERLINE OF R.O.W. SIDE OF 15 FEET, AND THE REAR SETBACK IS 15 FEET, 250 FEET WHEN ABUTTING A RESIDENTIAL DISTRICT.
PARKING: For centers having a gross leasable area (GLA) equal to or greater than 25,000 square feet but less than 400,000 square feet: four spaces per 1,000 square feet (minimum) to 4 1/2 spaces per 1,000 square feet (maximum) but not less than 125 spaces.

BENCHMARKS
Site BM - Arrow on Fire Hydrant on the North side of Grand River Avenue, South of Taco Bell.
Elevation: 846.61 (NGVD 29)

FEMA BENCHMARKS
BM #25 - Railroad crossing light at Northwest quadrant of Okemos Road and Grand Trunk Western Railroad.
Elevation: 849.17 (NGVD 29) (Revised 11/8/2017)
BM #27 - Railroad spike in the West side of a Power Pole at House #5023 on Algongoin Way.
Elevation: 841.02 (NGVD 29)

Subtract 0.43 from all elevations to obtain NAVD 83.

GENERAL NOTES:

- Bearings were established by holding a course of S89°39'24"E along the north line of the subject property per the description provided.
- By graphic plotting only, this property is in Zones X & AE of the Flood Insurance Rate Map, Community Panel No. 260655C01550, which bears an effective date of 8/16/2011 and is partially within a Special Flood Hazard Area.

STRUCTURE INVENTORY:

STORM SEWER	CB 5	CB 10	SANITARY SEWER
STM MH 1 RIM ELEVATION: 842.62 N 24° CONC. - 839.52 E 12° CLAY - 837.12 SE 24° CONC. - 835.62	W 15" CONC. - 837.76 N 12" CONC. - 839.20 NE 12" CONC. - 839.30 S 12" CONC. - 839.30	RIM ELEVATION: 842.90 W 12" CONC. - 839.20 N 12" CONC. - 839.30 S 12" CONC. - 839.30	SAN MH A RIM ELEVATION: 842.65 E 6" CLAY - 838.15
STM MH 2 RIM ELEVATION: 843.15 N 8" CONC. - 837.6± (N-S FLOW CHANNEL - 834.6±)	W 8" CLAY - 838.17 N 18" CONC. - 837.57 S 8" CONC. - 837.57	RIM ELEVATION: 843.60 E 12" CONC. - 839.70 SW 12" CONC. - 839.60	SAN MH B RIM ELEVATION: 843.21 W 8" CLAY - 841.11
CB 3 RIM ELEVATION: 843.20 N-S FLOW CHANNEL - 836.10	RIM ELEVATION: 842.84 N 18" CONC. - 837.84 SSE 12" CONC. - 837.84	RIM ELEVATION: 843.58 E 12" CONC. - 839.70 SW 12" CONC. - 840.18	SAN MH C RIM ELEVATION: 844.12 N 8" CLAY - 831.12 NW 8" CONC. - 838.22 (TOP OF DROP PIPE) E 12" CONC. - 830.17 S 8" CLAY - 830.62 W 12" CONC. - 830.12
CB 4 RIM ELEVATION: 842.10 E 15" CONC. - 837.10 S 18" CONC. - 836.70 NW 24" CONC. - 835.50	RIM ELEVATION: 843.09 N 12" CONC. - 837.99 E 12" CONC. - 838.09	RIM ELEVATION: 843.71 NW 12" CONC. - 840.31	

LANSING MALT TITLE SURVEY
GERSHENSON REALTY & INVESTMENT, LLC
31500 NORTHWESTERN HIGHWAY, STE 100
FARMINGTON HILLS, MI 48834

ALTA / NSPS LAND TITLE SURVEY
LANSING MALT
2020 GRAND RIVER AVE
OKEMOS, MI 48864

REVISIONS

DATE	DESCRIPTION
11/9/2017 <td>UPDATED TO ALTA SURVEY </td>	UPDATED TO ALTA SURVEY
7/7/2017 <td>TRUCK DOCK ELEVATIONS AND SEWER INVENTORY </td>	TRUCK DOCK ELEVATIONS AND SEWER INVENTORY
10/7/2014 <td>UPDATED WETLAND SURVEY </td>	UPDATED WETLAND SURVEY
	DATE
	DESCRIPTION

3155 PINE TREE ROAD
SUITE D
LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
www.lsg-es.com

PREPARED FOR:
ALTA / NSPS LAND TITLE SURVEY
LANSING MALT
2020 GRAND RIVER AVE
OKEMOS, MI 48864

FILE: L1612_GERSHENSON - 2020 GRAND RIVER AVE UPDATE 1612_UPDATE.DWG - PLOT DATE: 11/15/2017 10:03 AM BY: Joseph Law SCALE: 1:1

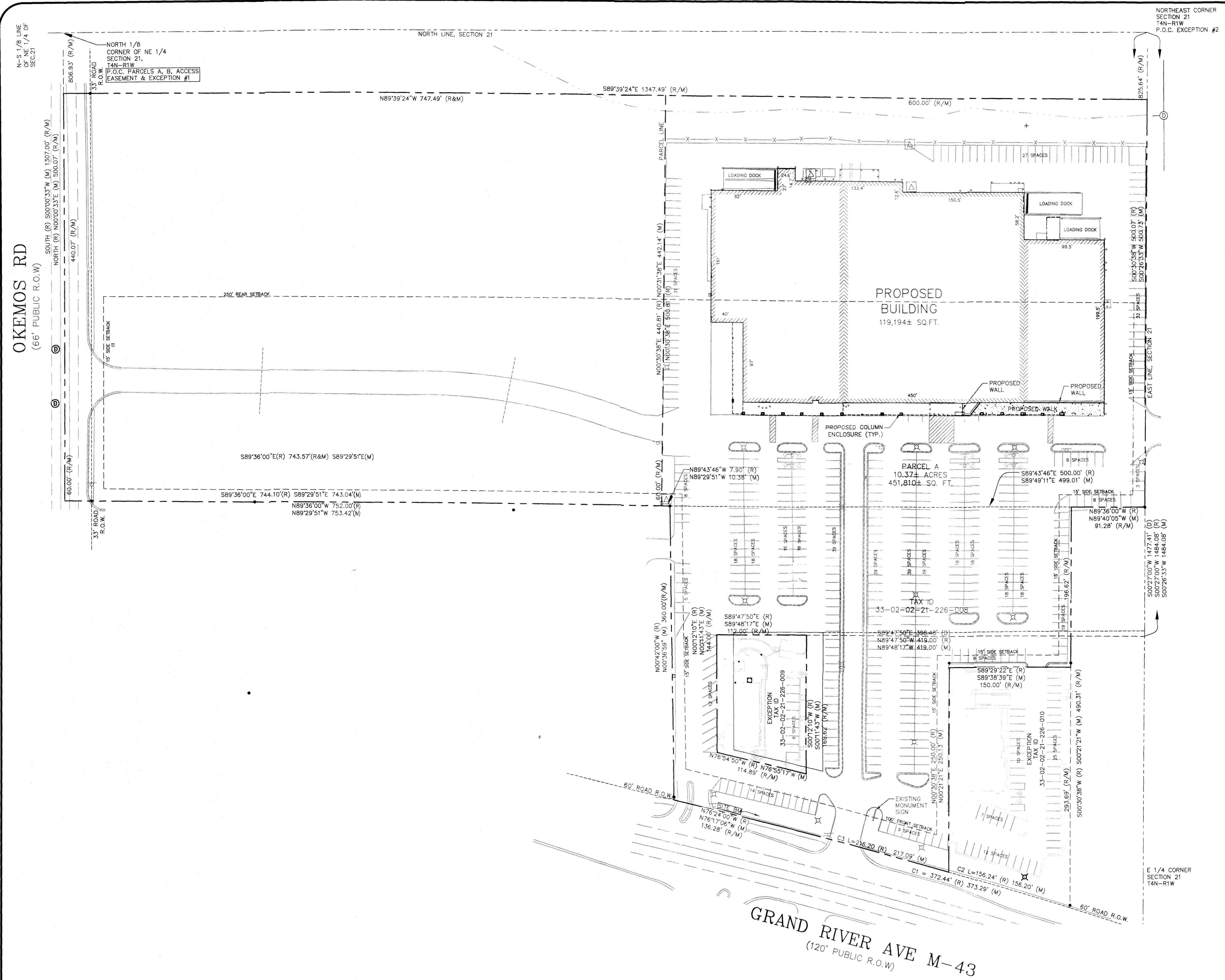
FILE: L1612_UPDATE.DWG
FIELD WORK: JZ
DRAWN BY: JML
CHECKED BY: DKR
DATE OF SURVEY: 9/29/2014

SCALE: 1" = 60'
HOR.: N/A
VERT.: N/A

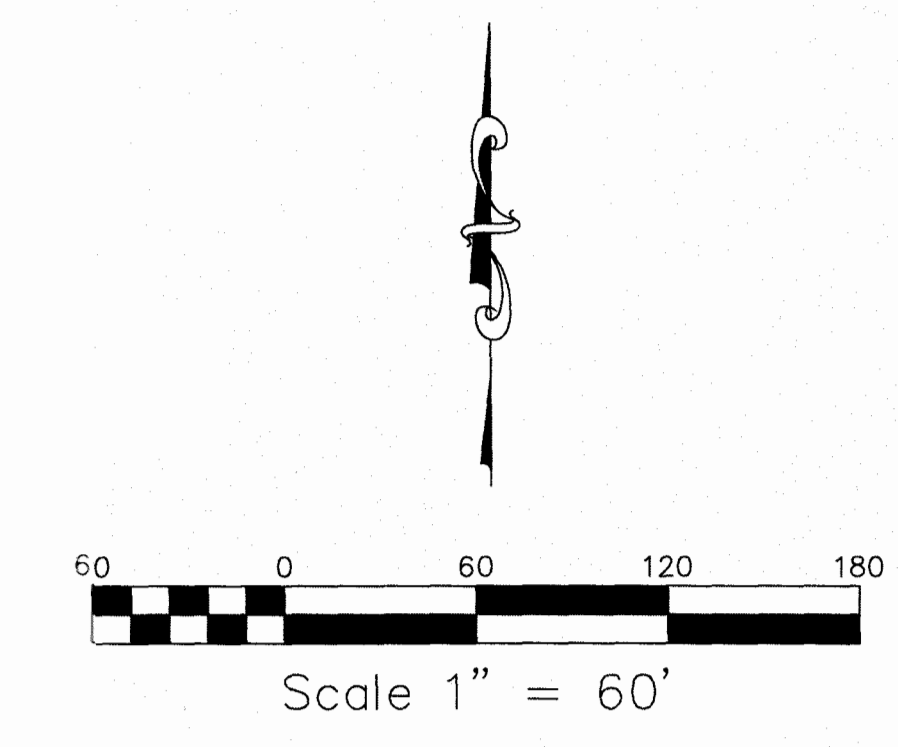
PROJECT NO.: 1612
SHEET NO.: 1 OF 1

FILE: L:\1612 (GERCHENSON - 2020 GRAND RIVER)\C\6 PLANS\C2-0.DWG - PLOT DATE: 11/15/2017 10:07 AM BY: Michelle Shumaker SCALE: 1:1

OKEMOS RD
(66' PUBLIC R.O.W.)



NORTHEAST CORNER SECTION 21
14N-R1W
P.O.C. EXCEPTION #2



NOTES

- BENCHMARKS**
Site BM - Arrow on Fire Hydrant on the North side of Grand River Avenue, South of Taco Bell.
Elevation: 846.61 (NGVD 29)
FEMA BENCHMARKS
BM #25 - Railroad crossing light at Northwest quadrant of Okemos Road and Grand Trunk Western Railroad.
Elevation: 849.17 (NGVD 29) (Revised 11/8/2017)
BM #27 - Railroad spike in the West side of a Power Pole at House #5023 on Algonquin Way.
Elevation: 841.02 (NGVD 29)
Subtract 0.43 from all elevations to obtain NAVD 88.
- THE CONTRACTOR SHALL CALL "MISS DIG" AT 811 OR 1-800-482-7171 AT LEAST THREE (3) WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
- LSG ENGINEERS & SURVEYORS WILL NOT BE RESPONSIBLE FOR FIELD DESIGN CHANGES MADE BY THE CONTRACTOR OR THE CONTRACTOR'S SURVEYOR WHERE THESE DESIGN CHANGES HAVE NOT BEEN APPROVED BY LSG ENGINEERS & SURVEYORS.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE FACE OF CURB.

SITE DATA

SITE ZONING:	C-3 COMMERCIAL
SITE USE:	RETAIL
SITE AREA:	10.37± AC
BUILDING AREA:	119,194 SQ. FT. (EXISTING)
BUILDING AREA:	119,194 SQ. FT. (PROPOSED)
BUILDING SETBACKS:	
FRONT:	100' FROM CENTERLINE OF R.O.W.
REAR:	15'
SIDE:	250' ABUTTING RESIDENTIAL

PARKING DATA

PARKING PROVIDED:

REGULAR:	479 SPACES
BARRIER-FREE:	12 SPACES
TOTAL PROVIDED:	491 SPACES

NOTE:
BARRIER-FREE SPACES SHALL BE INCLUDED IN THE TOTAL REQUIRED AND THE TOTAL PROVIDED.

GRAND RIVER AVE M-43
(120' PUBLIC R.O.W.)

DATE	DESCRIPTION	BY

LSG
Engineers
& Surveyors

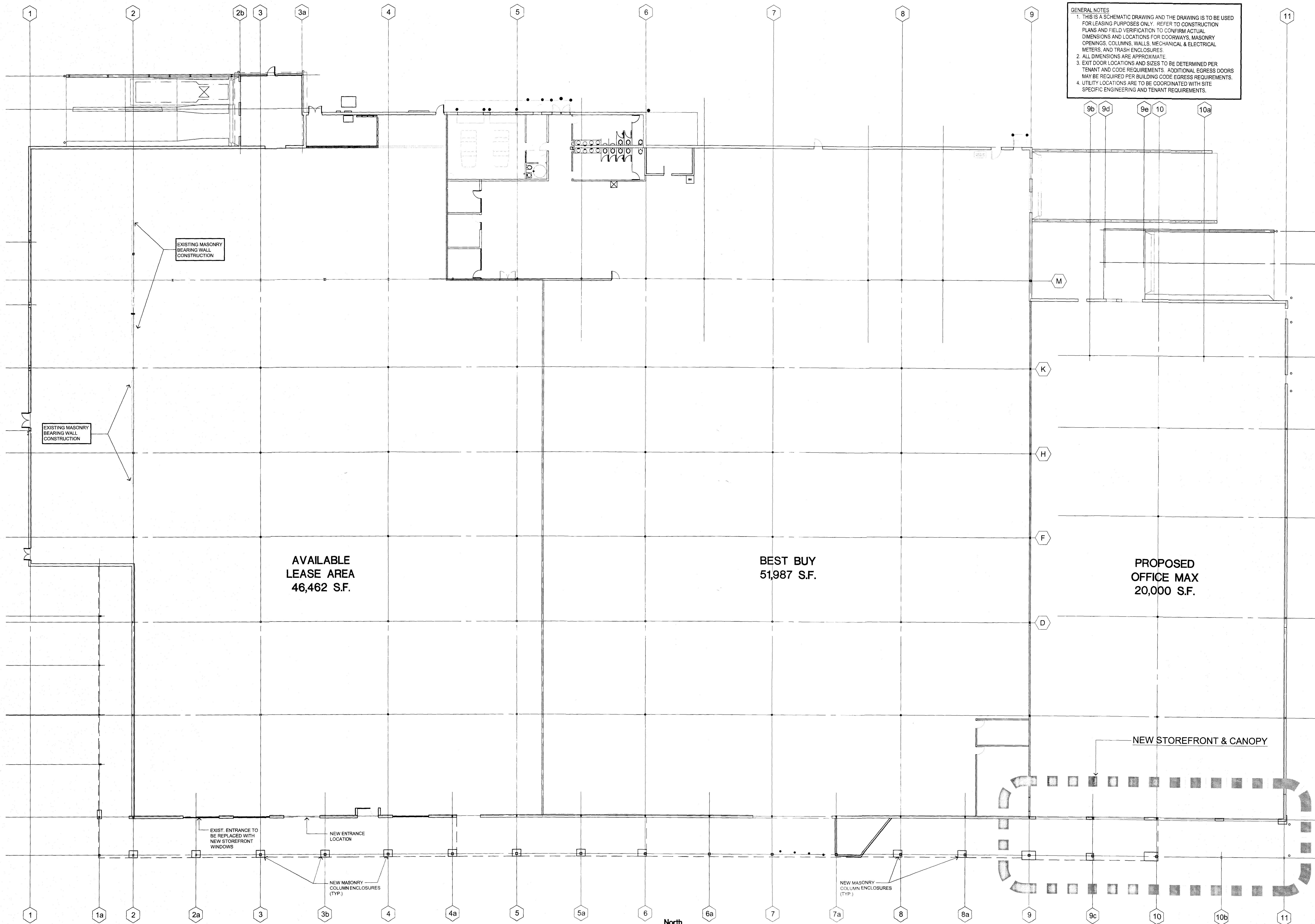
3135 PINE TREE ROAD
SUITE D
LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
www.lsg-es.com

PREPARED FOR:
GERSHENSON REALTY + INVESTMENT, LLC
31500 NORTHWESTERN HIGHWAY, STE 100
FARMINGTON HILLS, MI

SITE PLAN FOR
LANSING MART
2020 GRAND RIVER AVE
OKEMOS, MI 48864

MISS DIG
811
Know what's below.
Call before you dig.

FILE:	C2-0.DWG
DESIGNED BY:	MLS
DRAWN BY:	MLS
CHECKED BY:	ADB
DATE:	NOVEMBER 15, 2017
SCALE:	1" = 60'
HOR.:	N/A
VERT.:	N/A
PROJECT NO.:	1612
SHEET NO.:	C2.0



GENERAL NOTES

1. THIS IS A SCHEMATIC DRAWING AND THE DRAWING IS TO BE USED FOR LEASING PURPOSES ONLY. REFER TO CONSTRUCTION PLANS AND FIELD VERIFICATION TO CONFIRM ACTUAL DIMENSIONS AND LOCATIONS FOR DOORWAYS, MASONRY OPENINGS, COLUMNS, WALLS, MECHANICAL & ELECTRICAL METERS, AND TRASH ENCLOSURES.
2. ALL DIMENSIONS ARE APPROXIMATE.
3. EXIT DOOR LOCATIONS AND SIZES TO BE DETERMINED PER TENANT AND CODE REQUIREMENTS. ADDITIONAL EGRESS DOORS MAY BE REQUIRED PER BUILDING CODE EGRESS REQUIREMENTS.
4. UTILITY LOCATIONS ARE TO BE COORDINATED WITH SITE SPECIFIC ENGINEERING AND TENANT REQUIREMENTS.

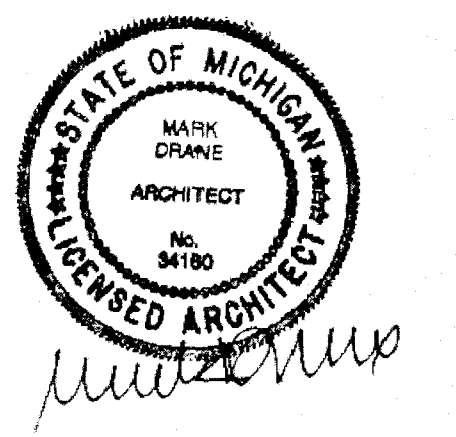
issued for:
 ZBA REVIEW: 16 NOV. 17

project:

Proposed Building Redevelopment
Lansing Mart
 Meridian Township, Michigan



32500 TELEGRAPH ROAD
 SUITE 250
 BINGHAM FARMS, MICHIGAN
 48025-2404
 PH 248.540.7700 FX 248.540.2710
 www.rogvoy.com



drawing:

**Lease
 Floor Plan**

DO NOT SCALE DRAWING

issue date: 07 NOV. 17
 drawn: KL/KS
 checked: MD
 approved: MD

file number: **10081**
 sheet:

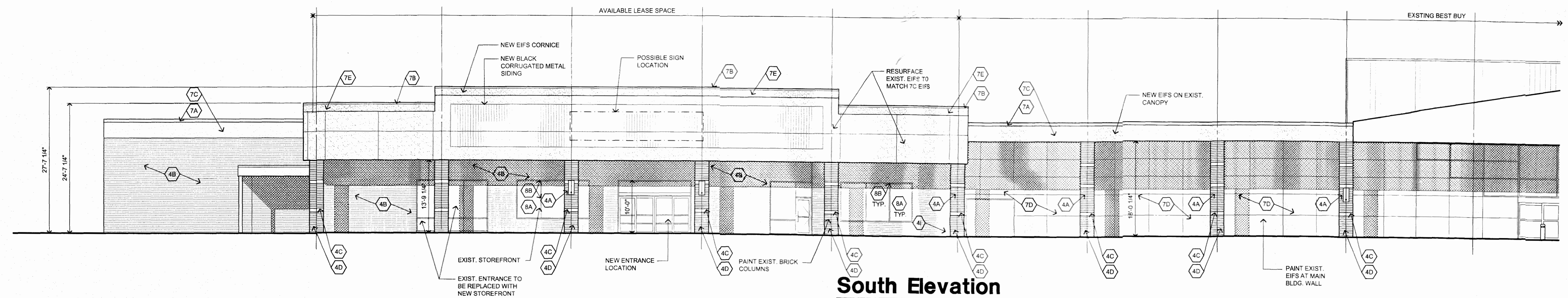
project:

Proposed Building Redevelopment
Lansing Mart
 Meridian Township, Michigan

Exterior Finish Schedule					
Mark	Material	Location	Mfgr.	Color	Remarks/Notes
4A	C-BRICK	MAIN WALL/COLUMN SURROUNDS- SEE ELEVATIONS	GRAND BLANC	HERITAGE BLEND	INTEGRALLY COLORED C-BRICK
4B	EXISTING BRICK	MAIN WALL	SHERWIN WILLIAMS	SHERWIN WILLIAMS SW-6061 "TAN BARK"	PAINTED TO MATCH HERITAGE BLEND
4C	SMOOTH FACE CMU	ACCENT BANDS- SEE ELEVATIONS	GRAND BLANC	SAGEBRUSH	
4D	C-BRICK	WAINSCOT- SEE ELEVATIONS	GRAND BLANC	EARTHSTONE	
7A	METAL COPING	PARAPET / ROOF EDGE	PAC CLAD	BONE WHITE (KYNAR 500)	PREFINISHED
7B	METAL COPING	PARAPET / ROOF EDGE	PAC CLAD	SIERRA TAN (KYNAR 500)	PREFINISHED
7C	EIFS-1	MAIN FIELD	DRYVIT	310 CHINA WHITE	SANDBLAST FINISH
7D	EIFS-2	MAIN FIELD	DRYVIT	SHERWIN WILLIAMS SW-6061 "TANBARK"	SANDBLAST FINISH
7E	EIFS-3	ACCENT	DRYVIT	111 PRAIRIE CLAY	SANDBLAST FINISH
8A	GLASS	STOREFRONT	AS SPECIFIED	1" CLEAR INSULATED GLAZING	TEMPERED GLAZING WHERE NOTED ON ELEVATIONS
8B	ALUMINUM STOREFRONT SYSTEM	STOREFRONT	AS SPECIFIED	CLEAR ANOD. ALUM	PROVIDE STOREFRONT SYSTEM AS SPECIFIED - SEE FLOOR PLANS
8C	FABRIC AWNING	STOREFRONT / STARBUCKS DRIVE-THRU	SUNBRELLA	BLACK	

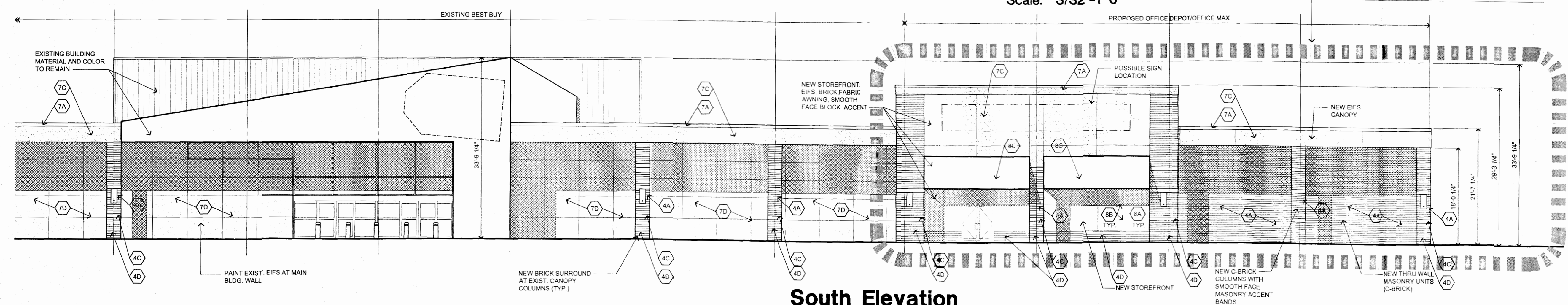
GENERAL NOTES

- THIS IS A SCHEMATIC DRAWING AND THE DRAWING IS TO BE USED FOR LEASING PURPOSES ONLY. REFER TO CONSTRUCTION PLANS AND FIELD VERIFICATION TO CONFIRM ACTUAL DIMENSIONS AND LOCATIONS FOR DOORWAYS, MASONRY OPENINGS, COLUMNS, WALLS, MECHANICAL & ELECTRICAL METERS, AND TRASH ENCLOSURES.
- ALL DIMENSIONS ARE APPROXIMATE.
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- UTILITY LOCATIONS ARE TO BE COORDINATED WITH SITE SPECIFIC ENGINEERING AND TENANT REQUIREMENTS.



South Elevation

Scale: 3/32"=1'-0"



South Elevation

Scale: 3/32"=1'-0"

ROGVOY
 ARCHITECTS

32500 TELEGRAPH ROAD
 SUITE 250
 BINGHAM FARMS, MICHIGAN
 48025-2404

PH 248.540.7700 FX 248.540.2710
 www.rogvoy.com



drawing:
Conceptual Building Elevations

DO NOT SCALE DRAWING

issue date: 07 NOV. 17
 drawn: KL/KS
 checked: MD
 approved: MD

file number: **10081**
 sheet:



To: Zoning Board of Appeals
From: Keith Chapman, Assistant Planner
Date: January 5, 2018
Re: ZBA Case No. 18-01-10-1 (Carlin)

ZBA CASE NO.: 18-01-10-1 (Carlin), 1593 Maiden Lane, Okemos, MI 48864
DESCRIPTION: 1841 Newman Road
TAX PARCEL: 02-177-006
ZONING DISTRICT: C-2 (Commercial)

The applicant is requesting a variance from the following section of the Code of Ordinances:

- Section 86-618 (2), Nonconforming structures, other than single-family structures, may be altered, expanded, or modernized without prior approval of the Zoning Board of Appeals; provided, that structural alterations or extensions shall not increase the area, height, bulk, use, or extent of the structure and shall satisfy all other applicable site development regulations.

Brian Carlin, the applicant, has requested a variance to add a 116 square foot addition to the front façade for a vestibule and waiting area of a nonconforming building at 1841 Newman Road. The approximate 1.045 acre site is zoned C-2 (Commercial). The property is developed with two office buildings. The building on the north side was constructed in 1982 and currently does not have a tenant. The building on the south side of the property was constructed in 1984 and is occupied with a rehabilitation clinic. There are no changes proposed to the south building.

The submitted site plan shows an existing 2,737 square foot office building. The building is considered to be nonconforming as it does not meet the required side yard setback of 15 feet. The building is 10 feet from the west property line as was the required setback in 1982. Any addition to the building area requires approval from the Zoning Board of Appeals (ZBA). The applicant intends to increase the area of the front façade by adding 116 square feet. The overall area of the building will increase from 2,737 square feet to 2,853 square feet.

Site History

- Township Assessing Department records indicate that the building was constructed in 1982.

Attachments

1. Application materials
2. Site location map

G:\COMMUN PLNG & DEV\PLNG\ZBA\2018 ZBA\ZBA 18-01-10\ZBA 18-01-10-1 (Carlin)\STAFF REPORT CARLIN

CHARTER TOWNSHIP OF MERIDIAN
PLANNING DIVISION
5151 MARSH ROAD, OKEMOS, MI 48864
(517) 853-4560

VARIANCE APPLICATION


A. Applicant Brian Carlin
Address of Applicant 1593 Maiden Lane, Okemos, MI 48864
Telephone (Work) 517-349-9692 Telephone (Home) 586-604-0185 cell
Fax 517-349-1231 Email address: carlinbt@hotmail.com
Interest in property (circle one): Owner Tenant Option Other

B. Site address/location 1841 Newman Road, Okemos, MI 48864
Zoning district C2 Parcel number 33-02-02-177-006

C. Nature of request (Please check all that apply):
 Request for variance(s)
 Request for interpretation of provision(s) of the "Zoning Ordinance" of the Code of Ordinances
 Review an order, requirements, decision, or a determination of a Township official charged with interpreting or enforcing the provisions of the "Zoning Ordinance" of the Code of Ordinances

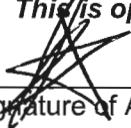
Zoning Ordinance section(s) 86-402(1)b

D. Required Supporting Material Supporting Material if Applicable
-Property survey -Architectural sketches
-Legal description -Other
-Proof of property ownership or approval letter from owner
-Site plan to scale
-Written statement, which demonstrates how all the review criteria will be met (See next page)


Signature of Applicant Brian Carlin 12/12/2017
Print Name Date

Fee: \$450.00 Received by/Date: 12/12/2017

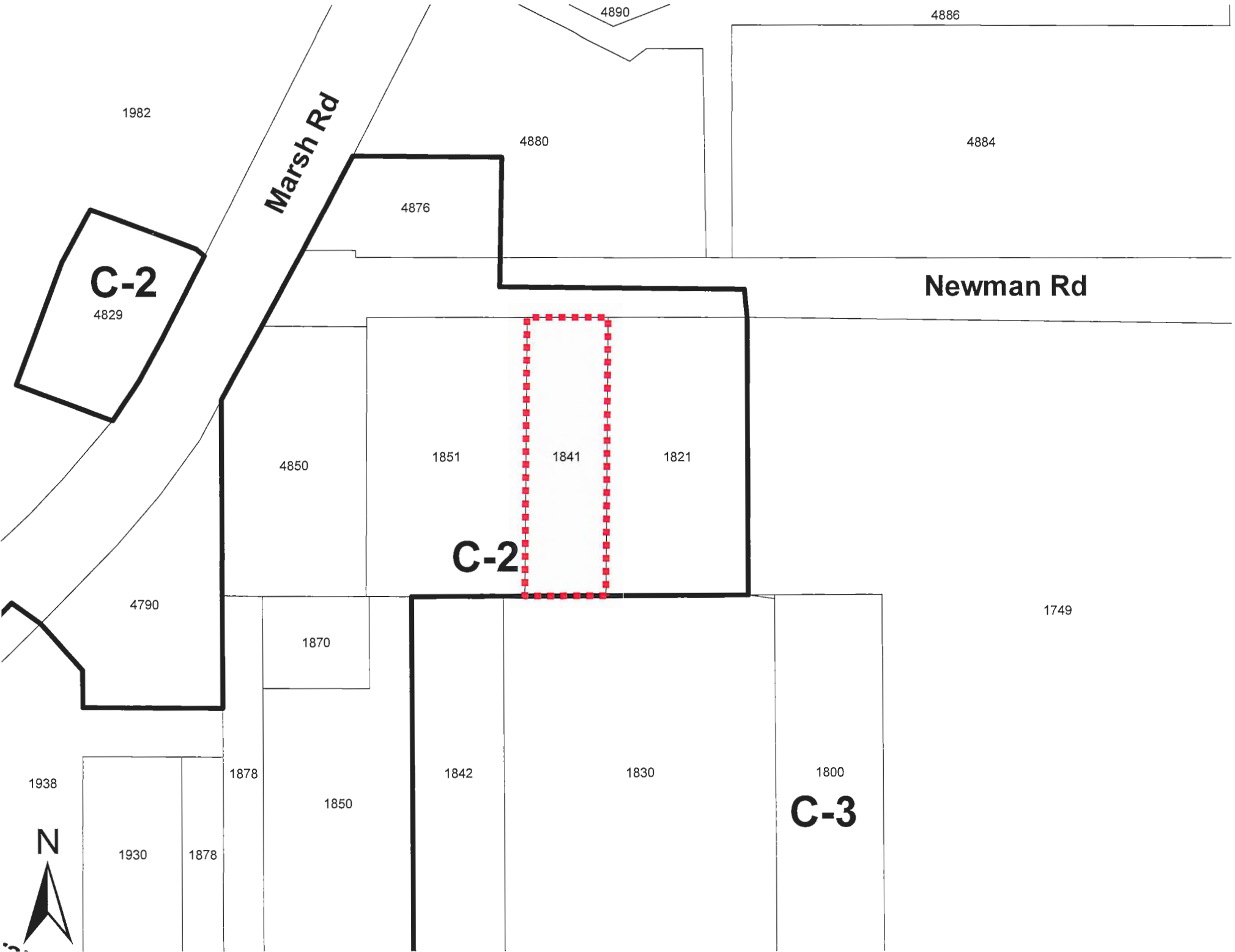
I (we) hereby grant permission for members of the Charter Township of Meridian Zoning Board of Appeals, Township staff members and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purposes of gathering information including but not limited to the taking and the use of photographs. (Note to Applicant(s): This is optional and will not affect any decision on your application.)

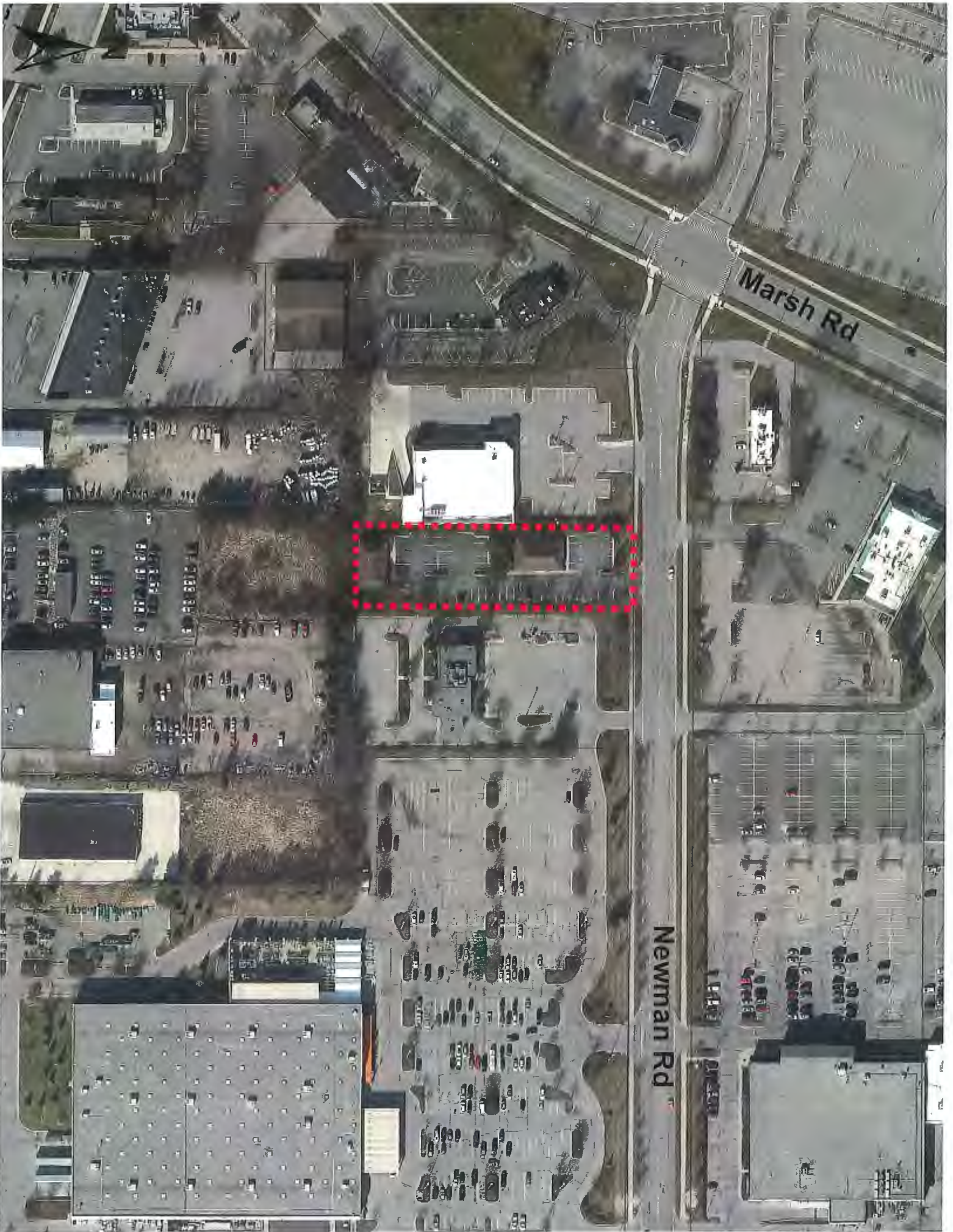

Signature of Applicant(s) 12/12/2017 Date

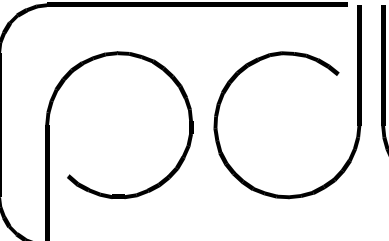
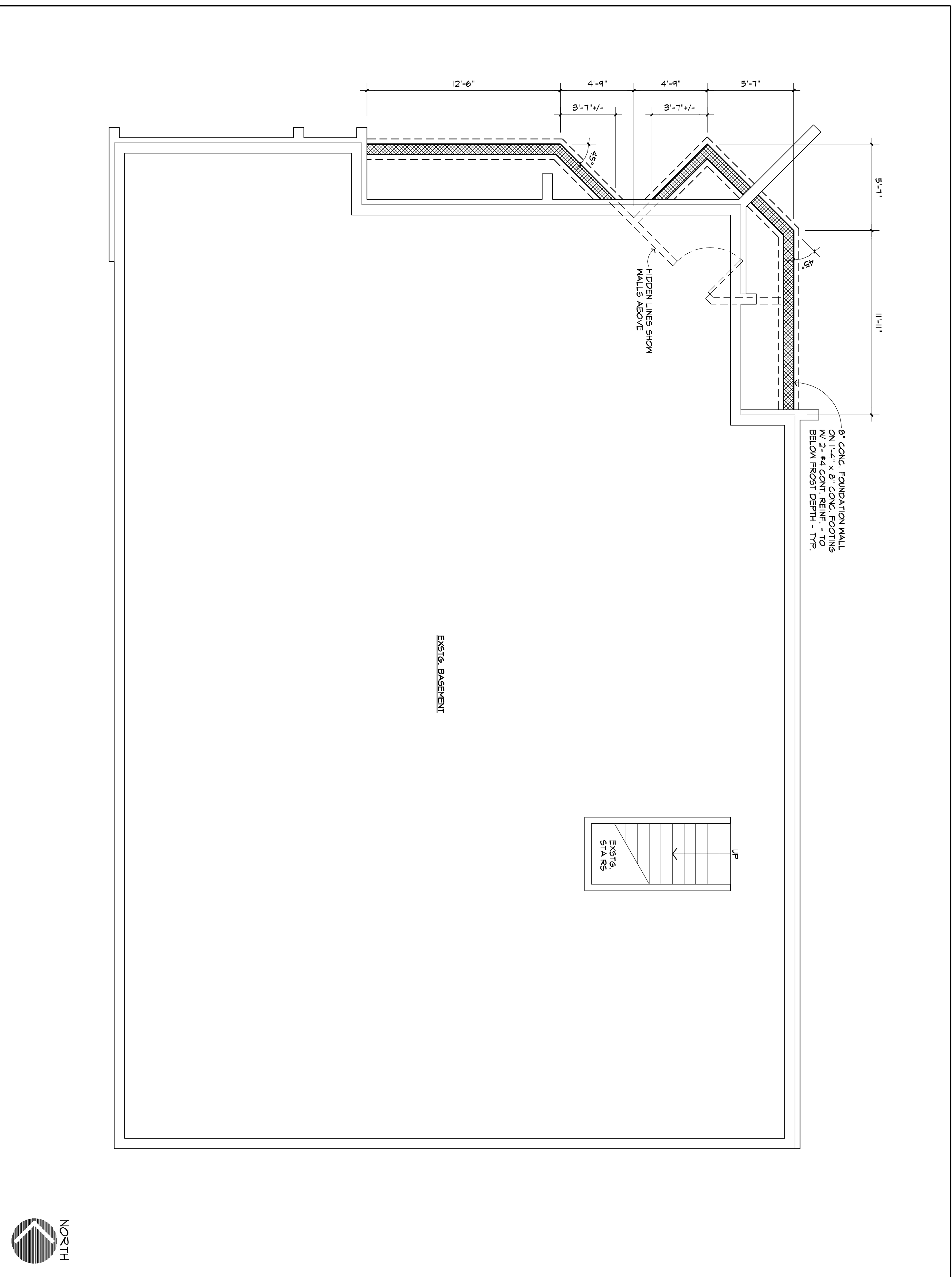
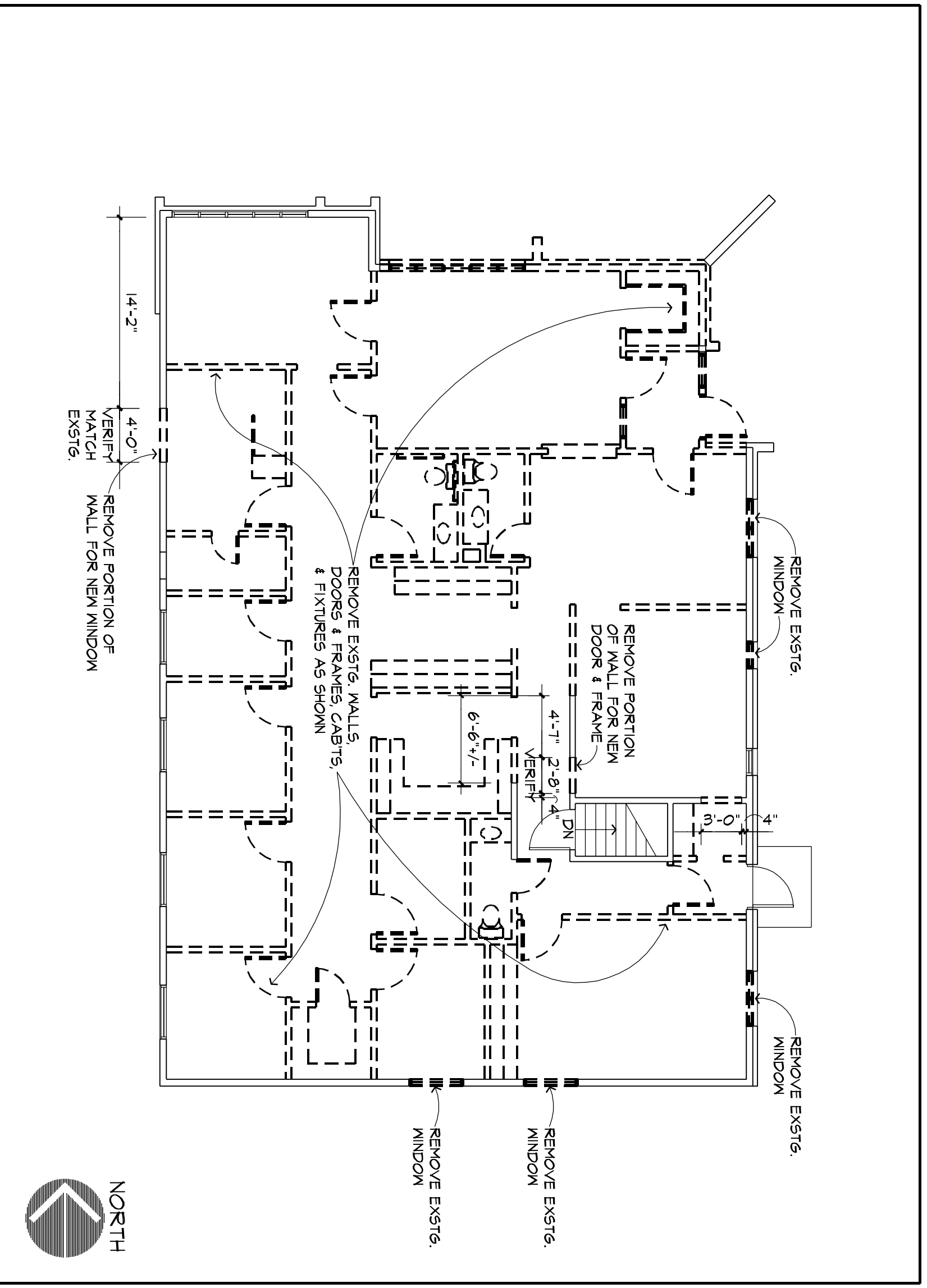
Signature of Applicant(s) Date

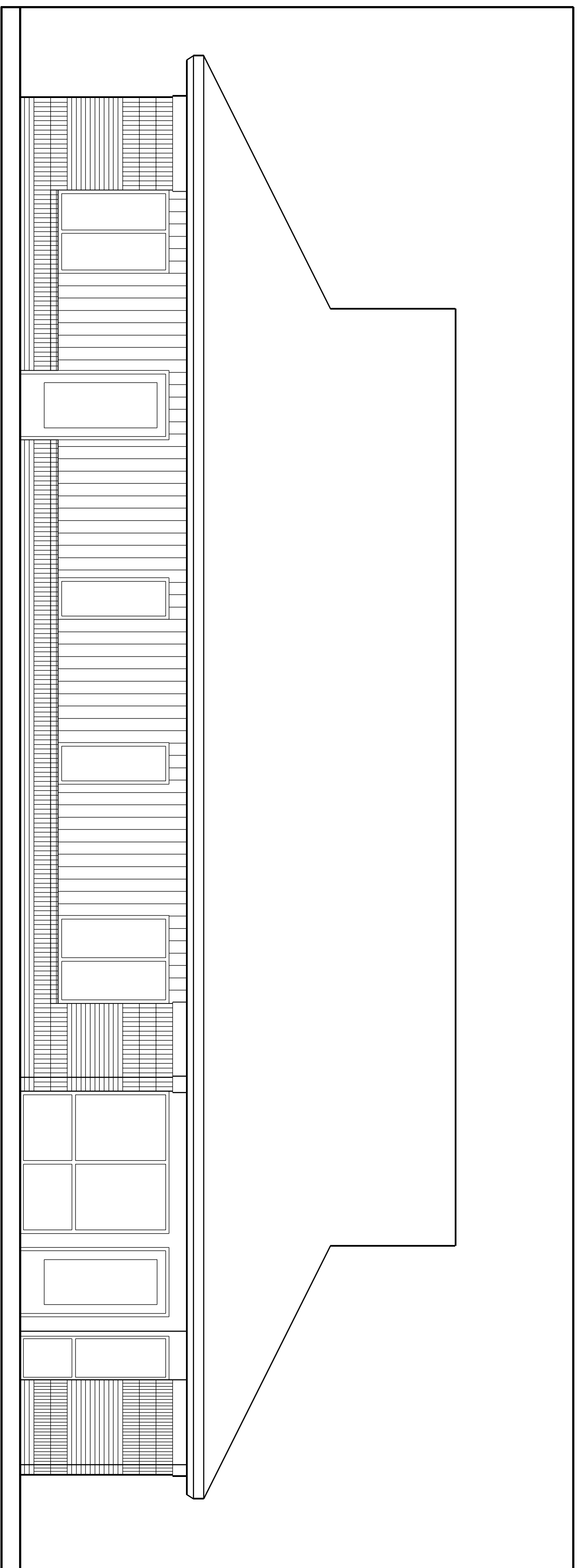
VARIANCE APPLICATION SUPPLEMENT

1. Unique circumstances exist with this property that are not applicable to other land or structures in this same zoning district. The required building setback and buffer requirements have changed since this property was developed.
2. These special circumstances were not self-created by this or the previous property owner.
3. Strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties. This owner would like to rearrange the interior of the existing building which will include enlarging the waiting room and adding a new vestibule entrance. All this will be done without changing the existing roof of the building but will change some of the exterior walls. None of the changes will be done in the required setback area.
4. That the alleged practical difficulties which will result from a failure to grant the variance would unreasonably prevent the owner from using the property for a permitted purpose
5. Granting this variance is the minimum action that will make possible the use of this land and structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.
6. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of this property.
7. The conditions pertaining to the land or structures are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.
8. Granting this variance will be generally consistent with public interest and the purposes and intent of this Chapter.

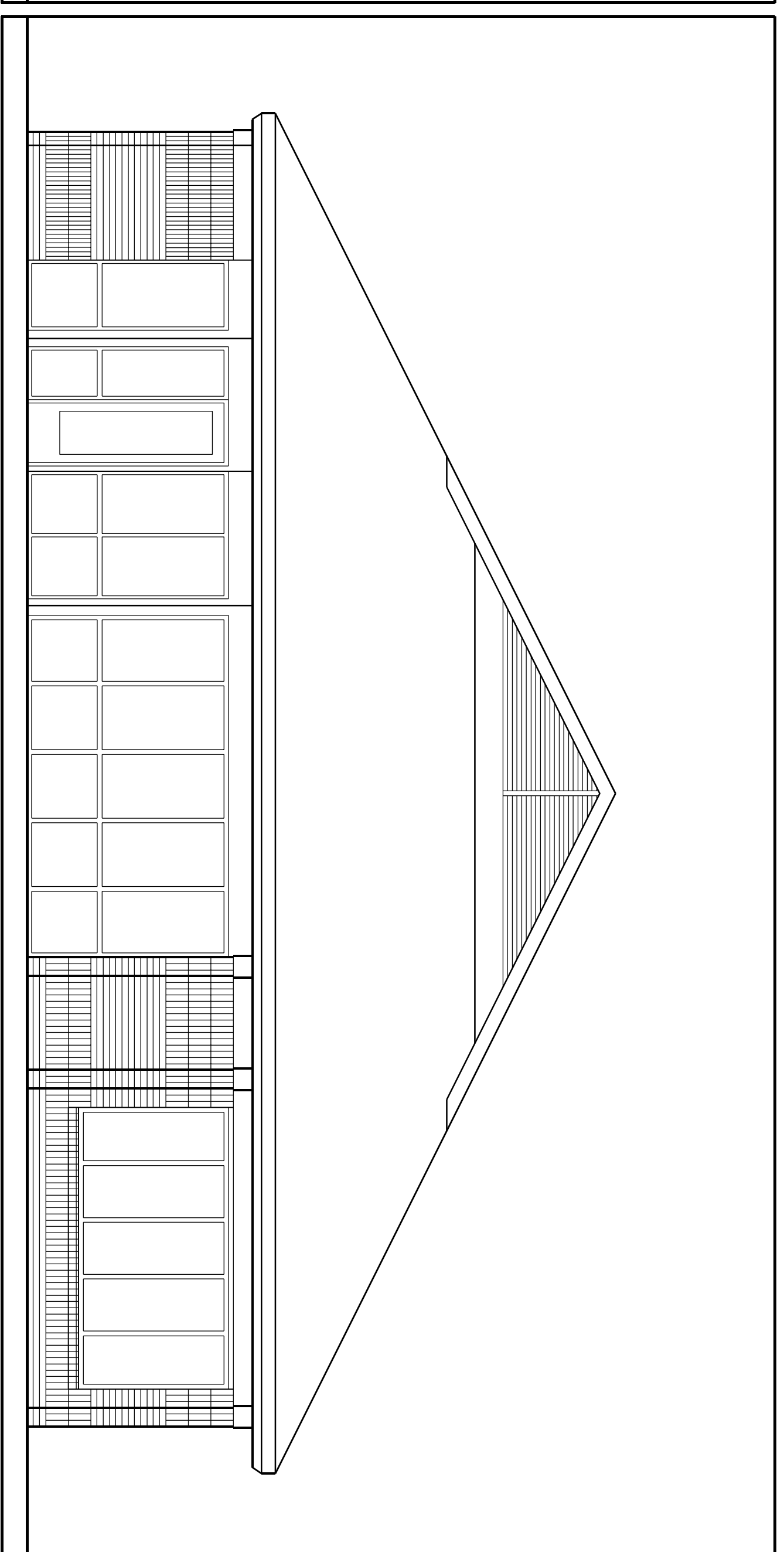








PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION

1/4" = 1'-0"

1/4" = 1'-0"

BUILDING NOTES:

CODE: 2015 MI BLDG. CODE
 USE GROUP: B
 TYPE OF CONSTRUCTION: 5-B

BUILDING AREA:
 EXISTING: 2131 SQ. FT.
 PROPOSED: 116 SQ. FT.
 TOTAL: 2247 SQ. FT.
 NET USEABLE AREA: 2140 SQ. FT.

NO. OF OCCUPANTS @ 1100: 21
 ACTUAL NO. OF OCCUPANTS: 21
 EXITS REQUIRED: 2
 EXITS PROVIDED: 2

NOTE:
 ALL INTERIOR FINISHES TO COMPLY W/ TABLE 0205.5

STRUCTURAL NOTES:

A. CODES & STANDARDS:
 BUILDING CODE: MI I.B.C. 2015
 A.S.I.: Current Edition
 A.C.I. 308.1: ACI 308.1S
 S.O.I. Design Manual: Current Edition

B. DESIGN LOADS:
 SNOW: 30 P.S.F. LL, 15 P.S.F. DL
 WIND SPEED: 40 MPH
 EXPOSURE: B
 A_g = 0.05
 A_v = 0.05
 R = 6.5

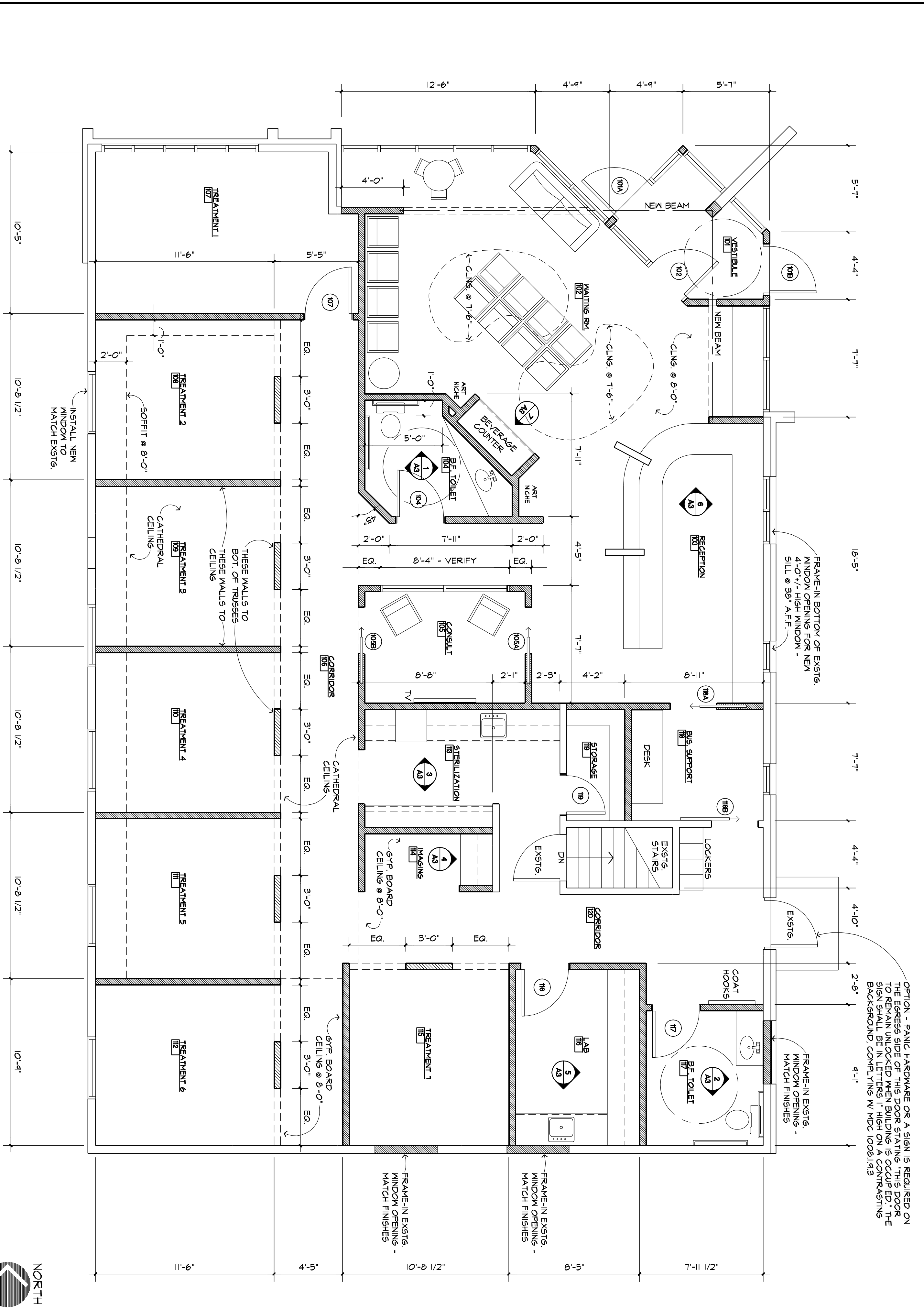
B-1. WIND LOADS:
 P = C_e C_d q_s I = 0.12 x 0.8 x 12.6 x 1
 P = 1.25 P_{st}

C. SOIL DESIGN:
 DESIGN BEARING CAPACITY: 2000 P.S.F. ASSUMED

D. CONCRETE:
 FOUNDATION: 3500 psi (28 day comp. strength)
 SLAB: 4000 psi (28 day comp. strength)

Aggregate to cement shall be such as to produce a dense workable mass of 3 inch nominal maximum size concrete. The concrete shall be placed and finished in accordance with ACI 302-1R (Guide for concrete placement and curing of all concrete and selection of materials) and ACI 309-1R (Control of Cracking in Concrete Structures). Water curing shall be used. Air entrain all concrete with 3% to 6% air by volume.

TRUSSES:
 PER 2012 NBC 2303.4.3 TRUSSES ARE TO BE INSTALLED IN ACCORDANCE WITH THE TRUSS DESIGN DRAWINGS, TRUSS LAYOUT DIAGRAM, AND TRUSS MEMBER PERMANENT BRACING SPECIFICATION. THE INDIVIDUAL TRUSS DESIGN DRAWINGS SHALL INCLUDE THE INFORMATION REQUIRED BY SECTION 2303.4.1 NBC 2004.



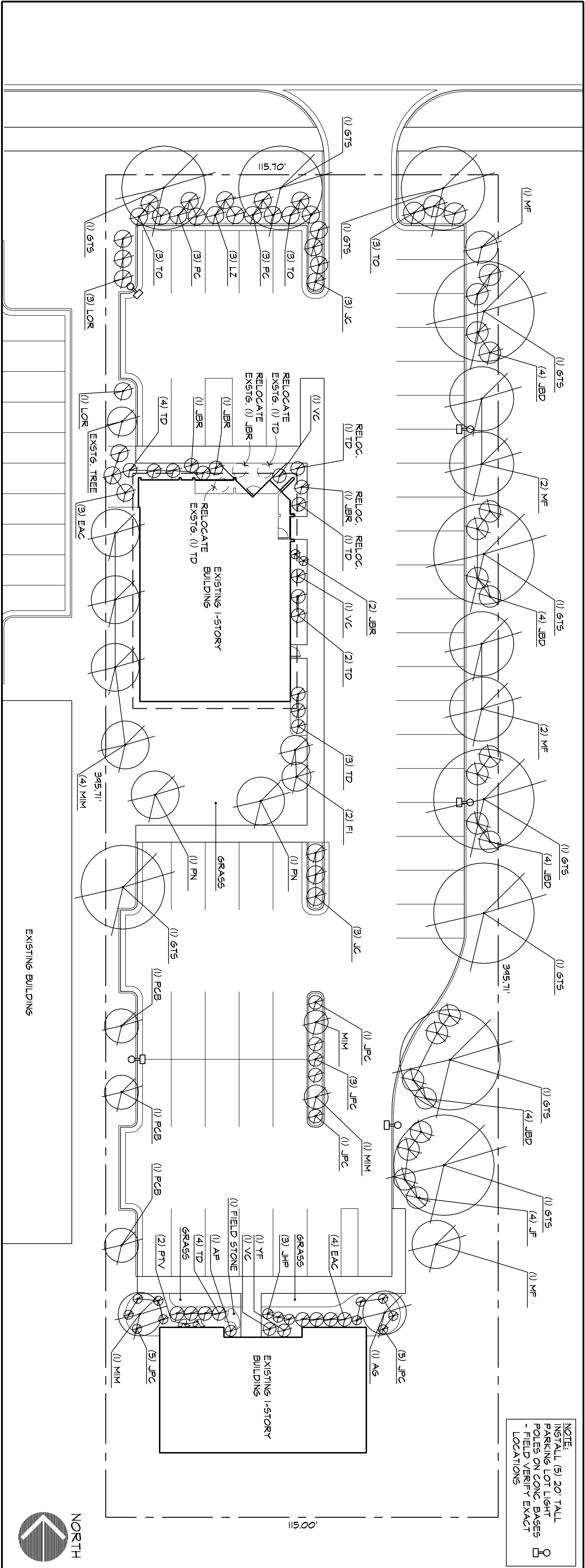
PROPOSED FLOOR PLAN

1/4" = 1'-0"

ABB. QIAN	SCIENTIFIC NAME/COMMON NAME	SIZE
EC	ELIOMANIS ALATIS COMPACTUS	10-24" B1B
FI	FORSTHIA INTERMEDIA BURNING BUSH	3-4' B1B
GT5	BORDER FORSYTHIA GLEDTISIA TRICANTHOS SKYLINE THORNLESS HONEYLOCUST	2 1/2-3' B1B
JF	JUNIPERUS L. FRUITLANDI	10-24' B1B
JBD	FRUITLANDI COMPACT JUNIPER BLUE DANUBE JUNIPER	15-10' B1B
JBR	JUNIPERUS H. BLUE RUG BLUE RUG JUNIPER	15-10' B1B
JC	JUNIPERUS H. COMPACTA	15-10' B1B
LOR	LIGUSTRUM OBT. REGELIAN REGEL PRIVIT	10-24' B1B
LZ	LONICERA ZABELLI	3-4' B1B
MN	MALUS FLORIBUNDA INDIAN WAGIG CRABAPPLE	1 1/2-2" B1B
MF	MALUS FLORENTINA JAPANESE FLOWERING CRABAPPLE	1 1/2-2" B1B
PN	PIUS NIGRA AUSTRIAN PINE	4-5' B1B
PC	PRUNUS CISTENA SAND CHERRY	3-4' B1B
TD	TAXUS DENSATOPHORA TAXUS SERRATA	15-10' B1B
TO	TRILIA OCCIDENTALIS AMERICAN AERONAUTICALS	3-4' B1B
VC	VIBURNUM CARLESII KOREAN SPICE BUSH	30-36" B1B
AG	ACER GINNALA AMER MARLE	5-6' HVR
AP	ACER PALMATUM JAPANESE MAPLE	3-4' B1B
JHP	JUNIPERUS HORIZONTALIS FLUNOLA ANDORSA JUNIPER	4-5' B1B
JPC	JUNIPERUS PRITZERIANA COMPACTA PRITZER JUNIPER	4-5' B1B
FTV	PARTHENOCISSIS TRICUSPIDATA VEITCH HOPA CRABAPPLE	3 YR. POT
PCB	PYRUS CALLERYANA BRADFORD BRADFORD PEAR	1 1/2-2" B1B
YF	YUCCA FILAMENTOSA CENTURY PLANT	4-5' B1B

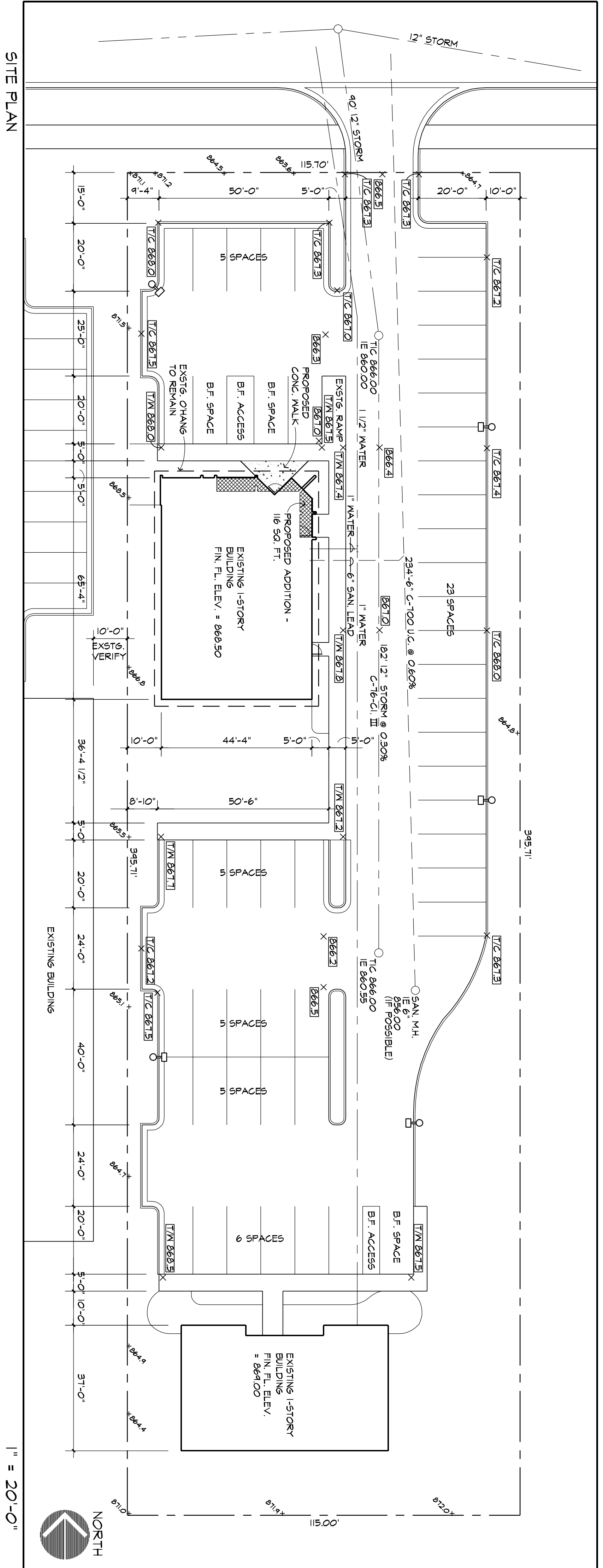
NOTE:
ALL PLANT BEDS ARE TO BE COVERED W/ 1/4" MILL BLACK PLASTIC AND SHEDDED BARK.

PLANT LIST



LANDSCAPE PLAN

1" = 20'-0"



SITE PLAN

1" = 20'-0"

drawn DMB	revisions	commission 1715
checked FDB		issued 12-13-17

sheet
S1
of 1

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PROPOSED REMODELING FOR:
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